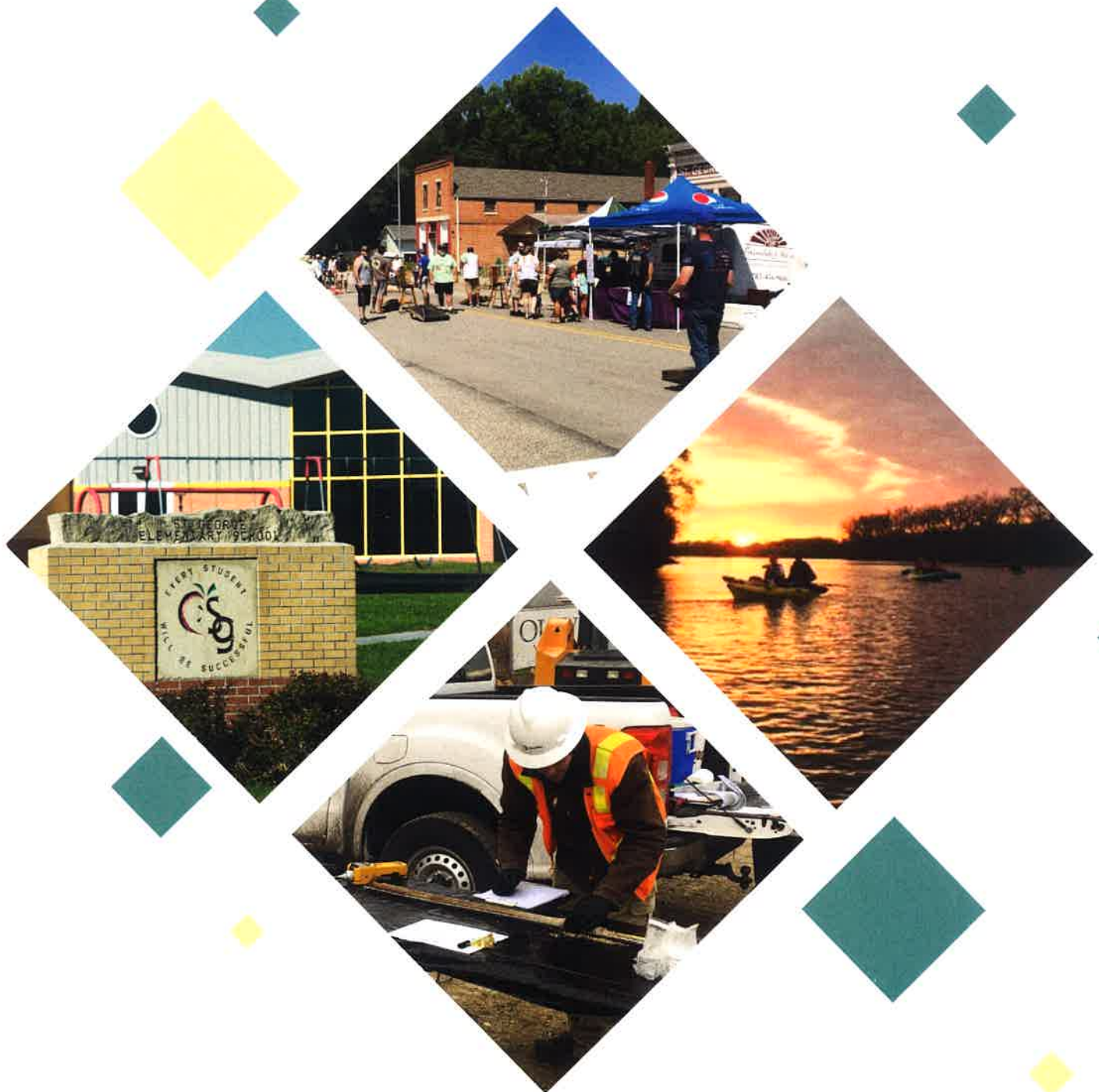


City of Saint George, Kansas
2040 Comprehensive Plan



Adopted May 13, 2021



CityofStGeorge.org

This plan was led by the Flint Hills Regional Council with financial investment from the U.S. Economic Development Administration, the Pottawatomie County Economic Development Corporation, and the City of St. George, Kansas.

Acknowledgments

City Council

- » Tim Pralle, Mayor
- » Nick Cahoj, Council Member
- » Matt Ruhnke, Council Member
- » Scott Moses, Council Member
- » Steve Zimmerman, Council Member
- » Debby Werth, Council Member

Planning & Zoning

- » Hans Tessmann, Chair
- » James Willbanks
- » Shawn Cheever
- » Shawn Miller

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- » Elizabeth Wagoner, City Clerk
- » Ben Wheeler, City Operator

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- » Janet Forge
- » Wendee Grady
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In The Matter of

STATE OF KANSAS, RILEY COUNTY SS

NOTICE OF PUBLIC HEARING

Printer's Fee \$ 64.20

Payment Date _____

Notice is hereby given that a Public Hearing on the Saint George Comprehensive Plan will be held on April 15th, 2021 at 7:00 P.M. at the Lighthouse Baptist Church, 308 N. Lincoln, Saint George, Kansas, by the Saint George Planning and Zoning Committee. This meeting will also be broadcast live online via Zoom, the Zoom link posted at: <http://www.cityofstgeorge.org/About-Us/City-Council-Staff-or-Call-City-Hall-at-785-494-2558>. The purpose of hearing is to consider the adoption of a new Comprehensive Plan for the City, pursuant to K.S.A. 12-747.

Public comments on the proposed Comprehensive Plan will be heard at the Public Hearing. Copies of the proposed Comprehensive Plan are available for review in advance of the hearing at City Hall, 220 First Street, Saint George, Kansas, 66535 or <https://www.stgeorgeksplan.com/>. If you have any questions or comments regarding the updated Comprehensive Plan, please contact City Hall at 785-494-2558

This meeting is being held at the Lighthouse Baptist Church, 308 N. Lincoln, Saint George, KS in accordance with provisions of the ADA, every attempt will be made to accommodate the needs of persons with disabilities. Please contact City Hall at 785-494-2558 for assistance.

Published in the Manhattan Mercury on March 25, 2021. M90228

I, Shannon Fritz being first duly sworn, depose and say: That I am Advertising Director of The Manhattan Mercury, a daily newspaper printed in the State of Kansas, and published in and of general circulation in Riley County Kansas, with a general paid circulation on a daily basis in Riley County, Kansas and that said newspaper is not a trade, religious or fraternal publication. Said newspaper is a daily published at least weekly 50 times a year; has been so published continuously and uninterruptedly in said county and state for a period of more than five years prior to the first publication of said notice; and has been admitted at the post office of Manhattan in said county as second class matter. That the attached notice is a true copy thereof and was published in the regular and entire issue of said newspaper for one consecutive insertions the first publication thereof being made as aforesaid on the 25 day of March, 2021 with subsequent publications being made on the following dates:

On the ___ day of _____, 2021

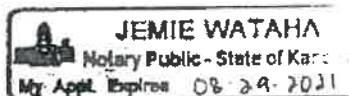
On the ___ day of _____, 2021

Shannon Fritz

Subscribed and sworn to before me this 26 day of March, 2021

Jemiel Wataha

Notary Public



RESOLUTION NO. 2021-05

A RESOLUTION OF THE ST. GEORGE PLANNING COMMISSION ADOPTING THE 2040 COMPREHENSIVE PLAN FOR THE CITY OF ST. GEORGE, KANSAS.

NOW THEREFORE, be it resolved by the Planning Commission of the City of St. George:

WHEREAS K.S.A. 12-747 sets forth the process and requirements for a city to consider and adopt a Comprehensive Plan; and

WHEREAS, the St. George Planning Commission published notice, scheduling a public hearing on the proposed 2040 Comprehensive Plan on April 15, 2021 before the Planning Commission; and

WHEREAS, on such date, the St. George Planning Commission, after holding a public hearing thereon, considered and adopted the 2040 Comprehensive Plan.


NOW THEREFORE BE IT RESOLVED that the St. George Planning Commission adopts the 2040 Comprehensive Plan and recommends that the Governing Body of the City of St. George approve the same.

A certified copy of the 2040 Comprehensive Plan and a written summary of the public hearing thereon, shall be submitted with this Resolution to the Governing Body for consideration.

IT IS SO RESOLVED.

PASSED AND ADOPTED THIS 15th DAY OF APRIL 2021, BY THE ST. GEORGE PLANNING COMMISSION.

ATTEST:


SECRETARY




PLANNING COMMISSION CHAIR








1

Introduction and Background

St. George is home to approximately 1,000 residents and is comprised of a historic downtown, desirable residential neighborhoods, a quality elementary school, and is easily accessible to a variety of recreational opportunities. St. George is known within the region for its small town atmosphere and close community that supports a variety of community-building initiatives.

The 2040 St. George Comprehensive Plan seeks to capitalize on these values and what makes St. George unique while also addressing specific planning and future land use decisions. This plan involved considerable analysis of the past and existing conditions of St. George. Additionally, the planning process involved extensive collaboration and input from both St. George residents and stakeholders so that strides are made towards what is best for the future of St. George.

About the St. George Comprehensive Plan

About the Plan

A comprehensive plan is a living document that represents a community's hopes, dreams, and aspirations for itself in the future. The St. George Comprehensive Plan is a road map for adopting new policies and initiatives that achieve land use and development goals. This plan should assist the City Council, Planning and Zoning, City staff, and community stakeholders in making well-informed decisions regarding land use, planning capital improvements, and more. These local decisions can have long-lasting impacts on the future design, form, and economic well-being of St. George.

Plan Process

Preparing for the comprehensive plan involved a 5-month planning process starting with the first Steering Committee meeting in October 2020.

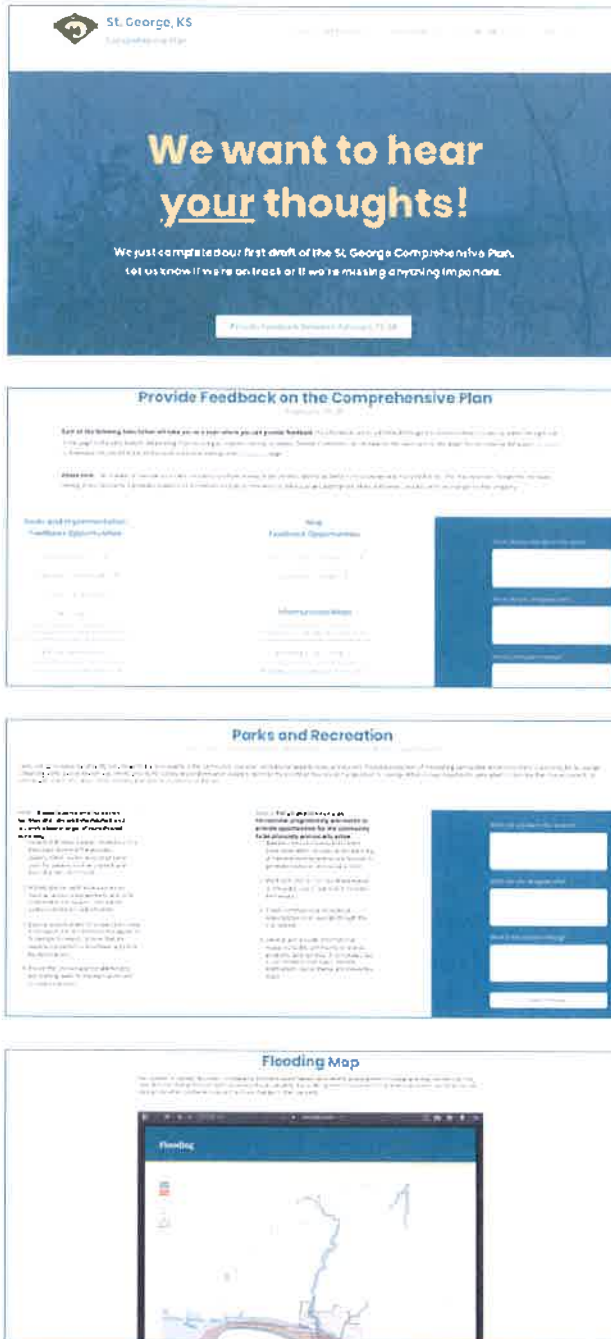
The first phase of the planning process involved collecting data and community input. Both past and present data on demographic and economic trends was collected to understand the state of St. George. Community input through a survey was also gathered. The second phase of the process really put the statistical data and community input to use through the establishment of community vision, values, goals, and strategies. The first draft of the plan was delivered mid-February in time for a virtual community feedback period. The feedback provided during this period helped solidify the comprehensive plan goals and strategies. An updated draft of the plan was then brought to City Council on March 11, 2021 for further community feedback. The St. George Comprehensive Plan was adopted by City Council on March 18, 2021.

▼ **Figure 1.1. St. George Comprehensive Plan Kick-Off Meeting**
October 27, 2020. Lighthouse Baptist Church



Community Engagement

▼ **Figure 1.2. Virtual Feedback Example Webpages on www.StGeorgeKSPlan.com**
 Information site: Available February through April 2021.
 Virtual Feedback Period: Available February 23-28, 2021



The St. George community helped shape every element of this comprehensive plan, from sharing what they value about St. George, identifying issues for the plan to address, reviewing drafts, and providing feedback on goals and policies. Detailed responses can be found in *Appendix A* but in short, community engagement included the following:

» **Steering Committee**

A group consisting of residents, council members, business owners, and other stakeholders who met biweekly to provide valuable input, feedback, and review initial ideas about the plan.

» **Community Survey**

As a way of gathering valuable feedback from the community, an online survey was available between December 11, 2020 and January 15, 2021. Survey respondents provided information on their values, aspirations, and greatest areas of concern. There were 131 responses collected (approximately 10% of the St. George population). In comparison to many community-wide surveys, the responses per capita was considerably high. It is important to note that there were also paper copies of the survey available at city hall. One respondent provided feedback this way.

» **Website/Virtual Public Feedback Period**

In order to keep the community updated about the plan and gather additional feedback, www.StGeorgeKSPlan.com was available February through April 2021. The site was used primarily for a virtual public feedback period between February 23-28, 2021. There were approximately 60 comments received through this platform. This website also included a summary of the community survey results, a draft of the plan, and a schedule of important upcoming dates.

Relevant Plans and Studies

The following list of plans and studies provides a summary of planning initiatives in the Flint Hills region that pertain to St. George. These documents inspired some of the land use decisions and policies included in this comprehensive plan.

Regional Plans

Plan Pottawatomie County 2040: The Future County Report (2019)

The Plan Pottawatomie County 2040 Comprehensive Plan is intended to guide future development, redevelopment, and enhancement efforts in Pottawatomie County through the year 2040.

US-24 Corridor Management Plan (2009)

The Kansas Department of Transportation commissioned a corridor plan for US-24 to guide future transportation improvements along this stretch of highway. The Corridor Plan spans from Wamego to Manhattan, with St. George located in the center of the plan boundary.

WAM-SAG-MAN Trail Project (2007)

The Recreation Trail concept from Wamego to St. George has been adopted in the strategic plans for the Wamego Chamber of Commerce and Pottawatomie County Economic Development Corporation. Students in K-State's PLAN 761 Community Development Workshop class conducted the feasibility and design study in spring 2006. Landplan Engineering completed the preliminary engineering design and probable construction costs in spring 2007. In spring 2009, Schwab-Eaton surveyed and completed design for St. George Phase I.

Connect 2040: Long-Range Transportation Plan (2020)

Connect 2040 is inclusive of all modes of transportation (driving, walking, biking, and public transit) and identifies transportation needs in the region over the next 20 years. The Flint Hills Metropolitan Planning Organization is responsible for updating this federally-required transportation plan every five years.

Regional Connections Plan (2020)

The Regional Connections Plan is a conceptual, long-range document intended to guide the development of a regional trail network from Wamego to Junction City. In St. George, the Plan includes a northern trail along the Kansas River.

Flint Hills Economic Development District Plan (2019)

The Flint Hills Economic Development District is one of the most valuable designations in the Flint Hills region as it provides financial assistance to the region. A thorough plan for this district is a requirement of the Economic Development Administration. The Flint Hills Regional Council manages this plan that was formally called the "Comprehensive Economic Development Strategy" or CEDS. The Flint Hills Regional Council additionally provides services to benefit the region, including providing guidance for this comprehensive plan.

The 'Greater St. George' Area

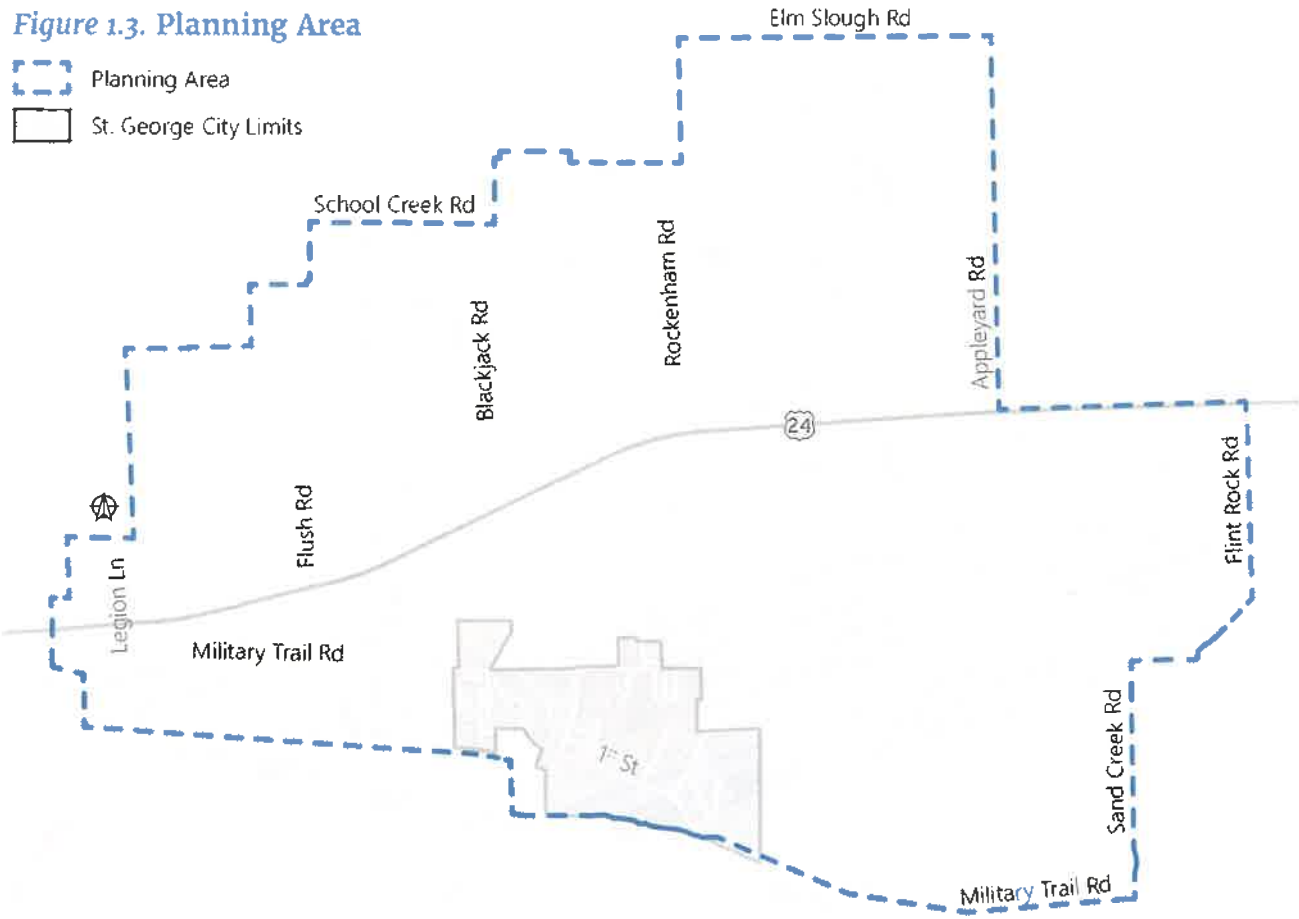
'Greater St. George' is an influence and planning area that includes areas beyond the municipal boundary of St. George. This area includes people who identify they are from St. George and may visit the city.

This area does not change the use, taxes, or zoning of the properties included in this comprehensive plan.

'Greater St. George' is within St. George's extraterritorial jurisdiction and could be considered for future annexation and development. The area should be thought of as a way to provide input and guide development decisions, *not* necessarily where St. George should expand its boundary over the next 20 years.

Figure 1.3. Planning Area

- Planning Area
- St. George City Limits



Community History

In 1857, St. George became the first town platted in Pottawatomie County. During the early years of county development, St. George served as the original county seat. However, in 1882, after a vote, the seat was moved from St. George to Louisville and then later moved to Westmoreland.

Similar to many towns at the time, St. George has strong ties to the railroad. Unlike other towns, St. George was relocated about a mile in the late 1800s. This placed St. George along Kansas Pacific

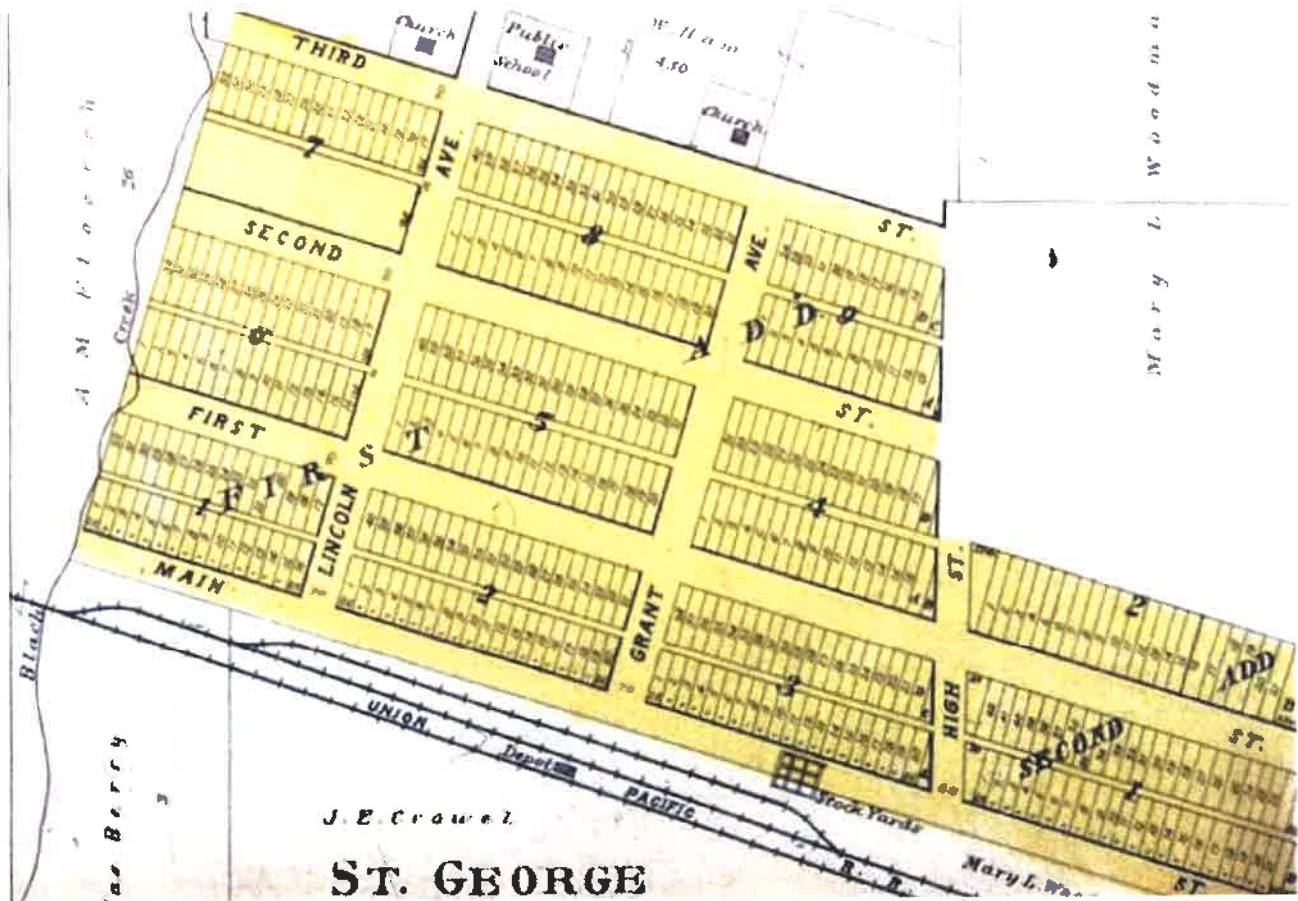
Railway (later the Union Pacific Railway) where the railroad station is still present today. An early 1905 map is showcased in Figure 1.4 when the population was around 150 residents.

Despite historic properties such as the train depot and the old Dalton/Taylor store, there are not any buildings or sites located on national or state registers of historic places.

Sources: St. George Kansas Historical Society; Pottawatomie County; and the Kansas Historical Society.

▼ Figure 1.4. 1905 Map of St. George

Standard Atlas of Pottawatomie County (p. 23). Kansas Memory by the Kansas Historical Society.

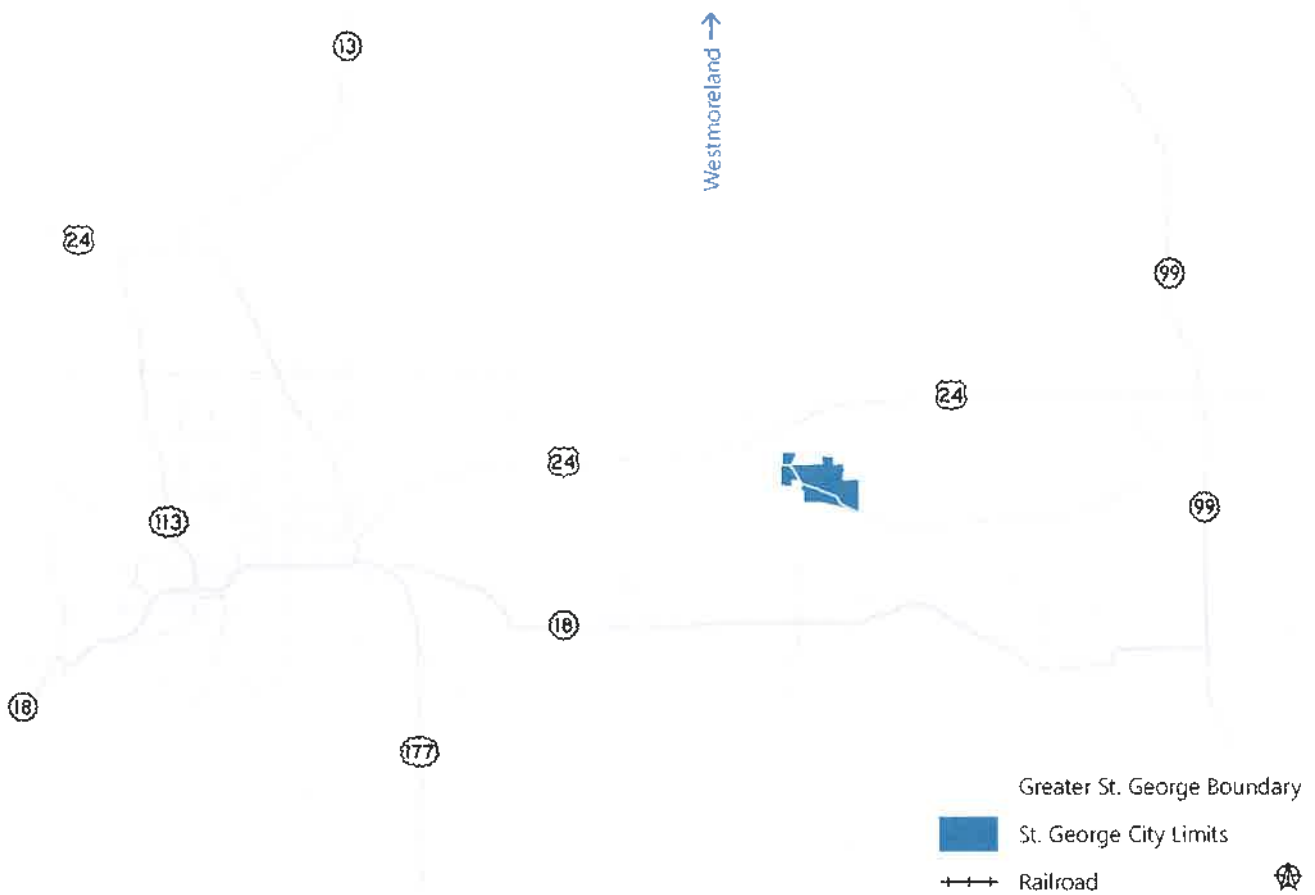


Local and Regional Context

The City of St. George is located in the southwestern portion of Pottawatomie County, Kansas along the Kansas River hence its motto "The Kansas River City." St. George is positioned just south of US-24 which provides a quick connection to the City of Manhattan approximately five miles to the west and the City of Wamego approximately six miles to the east. Westmoreland, the county seat, is located

approximately 16 miles to the north. The City of St. George is less than one square mile in area and continues to celebrate its close-knit community.

▼ Figure 1.5. St. George Context Within the Region



Community Profile: Demographics

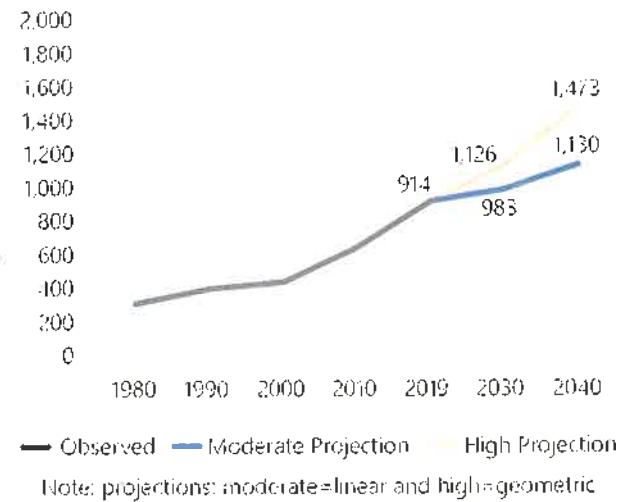
A strong understanding of St. George's past and present is crucial to the comprehensive plan process. A community profile provides an overview of the existing conditions and analyzes demographic influences that have shaped and will continue to shape the built environment. In combination, these factors establish the foundation for the vision, goals, and objectives of the comprehensive plan.

Population

St. George reached a population of 914 in 2019, which was an increase of 110.6%, or 480 residents, over the past 20 years (Table 1.1). Most of the growth in St. George has occurred at a rapid but steady pace since 2000. Between 2000 and 2019, there has been an approximate addition of 25 residents per year. This growth within the city limits of St. George has exponentially outpaced growth in other nearby cities, the St. George Township, and Pottawatomie County. St. George has been the fastest growing city within Pottawatomie County and is projected to continue growing through 2040 (Figure 1.6). In addition to the population growth in St. George,

▼ **Figure 1.6. St. George Population Trends, 1980–2019**

KU Institute for Policy & Social Research; U.S. Census Bureau



there have been a few noteworthy demographic patterns that have emerged (Table 1.2). **Young, wealthy, and highly educated families find St. George an attractive place to live.**

▼ **Table 1.1. Population Trends, 2000–2019**

KU Institute for Policy & Social Research; U.S. Census Bureau, 2015–2019 American Community Survey 5-Year Estimates

	2000	2010	2019	2000–2010 % Change	2010–2019 % Change
St. George	434	639	914	+47.2%	+43.0%
Onaga	708	702	751	-0.8%	+7.0%
Westmoreland	646	778	763	+20.4%	-1.9%
Wamego	4,260	4,372	4,876	+2.6%	+11.5%
Manhattan	44,823	52,281	55,290	+16.6%	+5.8%
St. George Township	2,629	3,415	4,135	+29.9%	+21.1%
Pottawatomie County	18,209	21,604	23,847	+18.6%	+10.4%

▼ **Table 1.2. Demographic Trends, 2000–2019**

KU Institute for Policy & Social Research; U.S. Census Bureau, 2015–2019 American Community Survey 5-Year Estimates

	<u>St. George</u>			<u>PT County</u>	<u>Kansas</u>
	2000	2010	2019	2019	2019
Population	434	639	914	-	-
Households					
Number of households	173	228	302	-	-
Average household size	2.5	2.8	3.0	2.7	2.5
Households w/ children under 18	38.7%	46.5%	53.3%	37.0%	31.5%
Median household income	\$29,306	\$60,000	\$75,714	\$66,835	\$59,597
Median Age	30.9	30.2	32.6	35.4	36.7
Active Military/Veterans	16.3%	9.3%	15.4%	10.7%	8.9%
Educational Attainment (Age 25+)					
High School or Equivalent	43.8%	16.3%	18.9%	29.1%	25.9%
Some college or associate's degree	29.5%	31.3%	35.1%	31.4%	31.7%
Bachelor's degree or above	11.3%	39.9%	41.9%	33.8%	33.4%
Race & Ethnicity					
White	94.9%	87.4%	91.5%	89.9%	75.4%
Black	0.7%	0.3%	2.3%	1.3%	5.5%
Asian	0.0%	0.9%	0.8%	0.8%	2.9%
Other	0.0%	1.4%	0.3%	0.9%	0.9%
Two or more races	0.5%	4.2%	1.3%	1.9%	3.1%
Hispanic or Latino (of any race)	3.9%	5.8%	3.8%	5.2%	12.2%

Community Profile: Economy

Local economic growth is likely due to economic activity in the City of Manhattan and western Pottawatomie County. As these areas have developed into more prominent employment hubs, St. George has emerged as an attractive, affordable residential community in close proximity to Manhattan and Wamego. Employment in St. George is primarily positioned outside the city itself likely with residents commuting to/from Kansas State University, the largest employer in Manhattan (Table 1.3 and Table 1.4). Although, St. George will not be as competitive in all employment sectors due to its size and location, it is well positioned to attract jobs in certain sectors, especially along the US-24 corridor.

▼ **Table 1.3. Inflow/Outflow of Jobs, 2005-2018**

U.S. Census Bureau, Center for Economic Studies, LEHD: On the Map

	2005	2010	2015	2018
Live in St. George/ employed elsewhere	96%	98%	97%	95%
Live in St. George/ work in St. George	0%	0%	0%	0%
Live elsewhere/ work in St. George	4%	2%	3%	5%

▼ **Table 1.4. St. George Employment by Industry, 2010 and 2019**

U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

	2010	2019
Agriculture, forestry, fishing and hunting, and mining	0.0%	0.7%
Construction	15.4%	8.7%
Manufacturing	7.8%	7.4%
Wholesale trade	3.3%	1.8%
Retail trade	3.3%	4.0%
Transportation and warehousing, and utilities	0.0%	4.0%
Information	0.0%	1.1%
Finance and insurance, and real estate and rental and leasing	10.8%	6.3%
Professional, scientific, and management, and administrative and waste management services	3.3%	8.0%
Educational services, and health care and social assistance	48.7%	40.6%
Arts, entertainment, and recreation, and accommodation and food services	2.9%	5.4%
Public administration	2.0%	8.9%
Other services	2.5%	3.1%

Community Profile: Housing

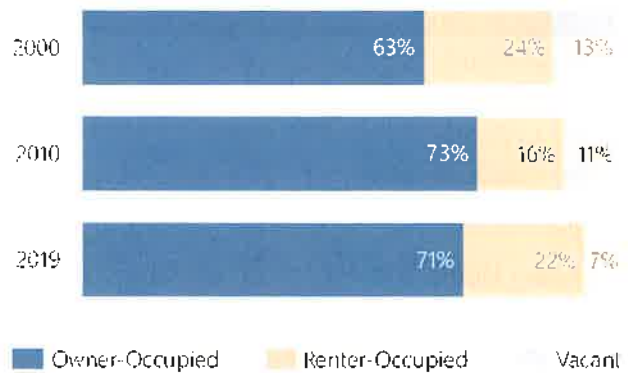
Housing

The St. George housing market remains strong and new growth is occurring. Housing prices are on the rise and the city and surrounding areas continue to experience new construction to meet the needs of a growing population (Table 1.6). If the City of St. George’s population nears the projected 1,130 residents, there is a projected need for approximately 75 additional housing units by the year 2040.

Within recent years, the housing market has been dominated by single family (subdivision) style housing (Figure 1.8). These units are most often owner-occupied (Figure 1.7). Mobile Homes are the second most common housing stock within St. George but new units are seldom mobile homes.

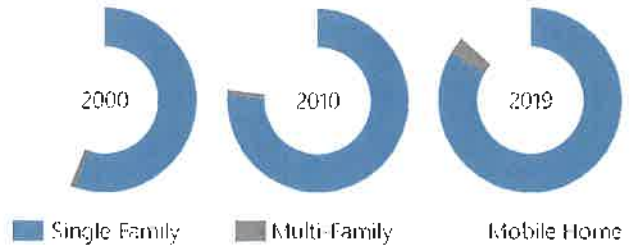
▼ **Figure 1.7. St. George Housing Units by Tenure**

U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates



► **Figure 1.8. St. George Housing Types**

U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates



▼ **Table 1.5. Number of Occupied Households, 2000-2019**

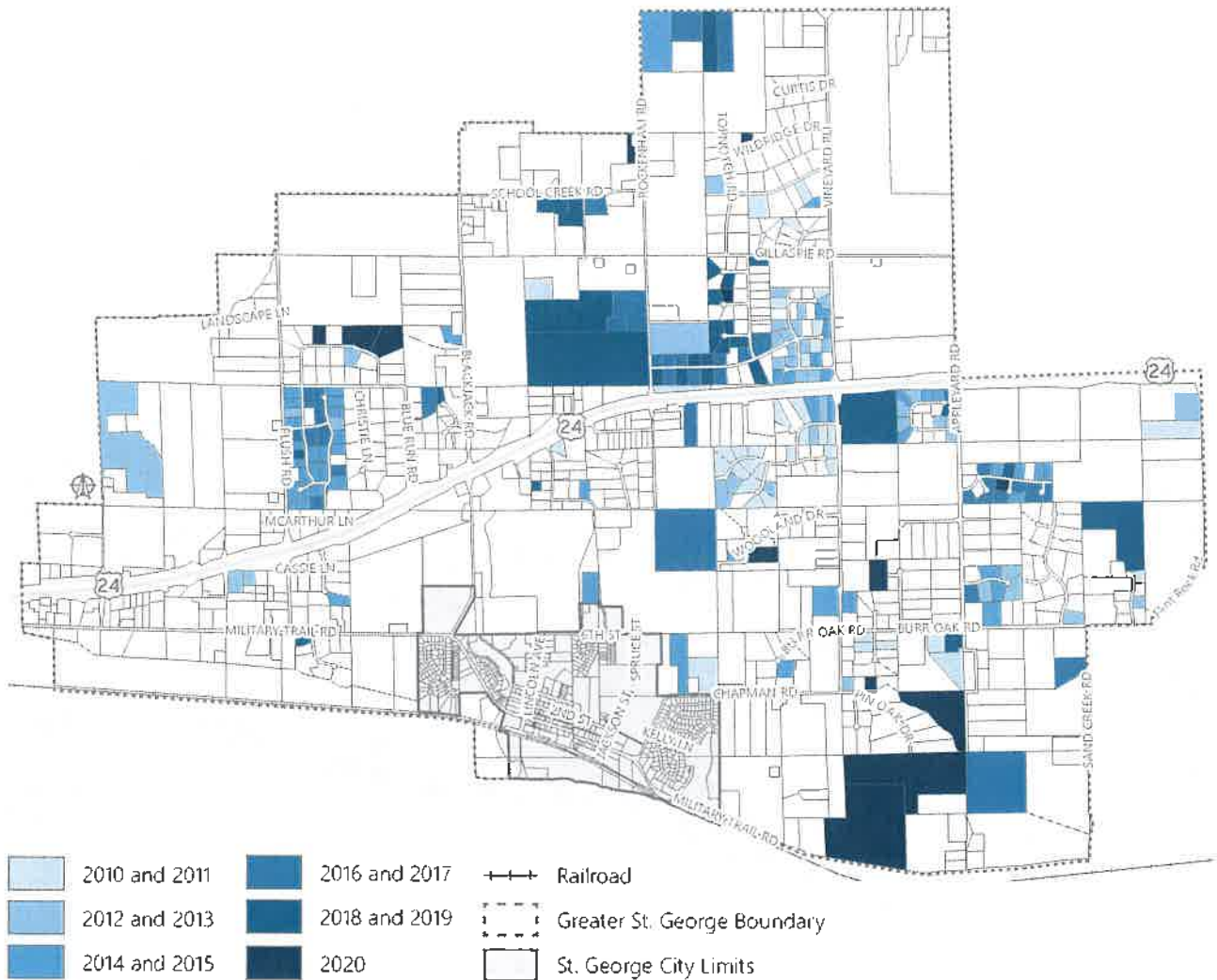
U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

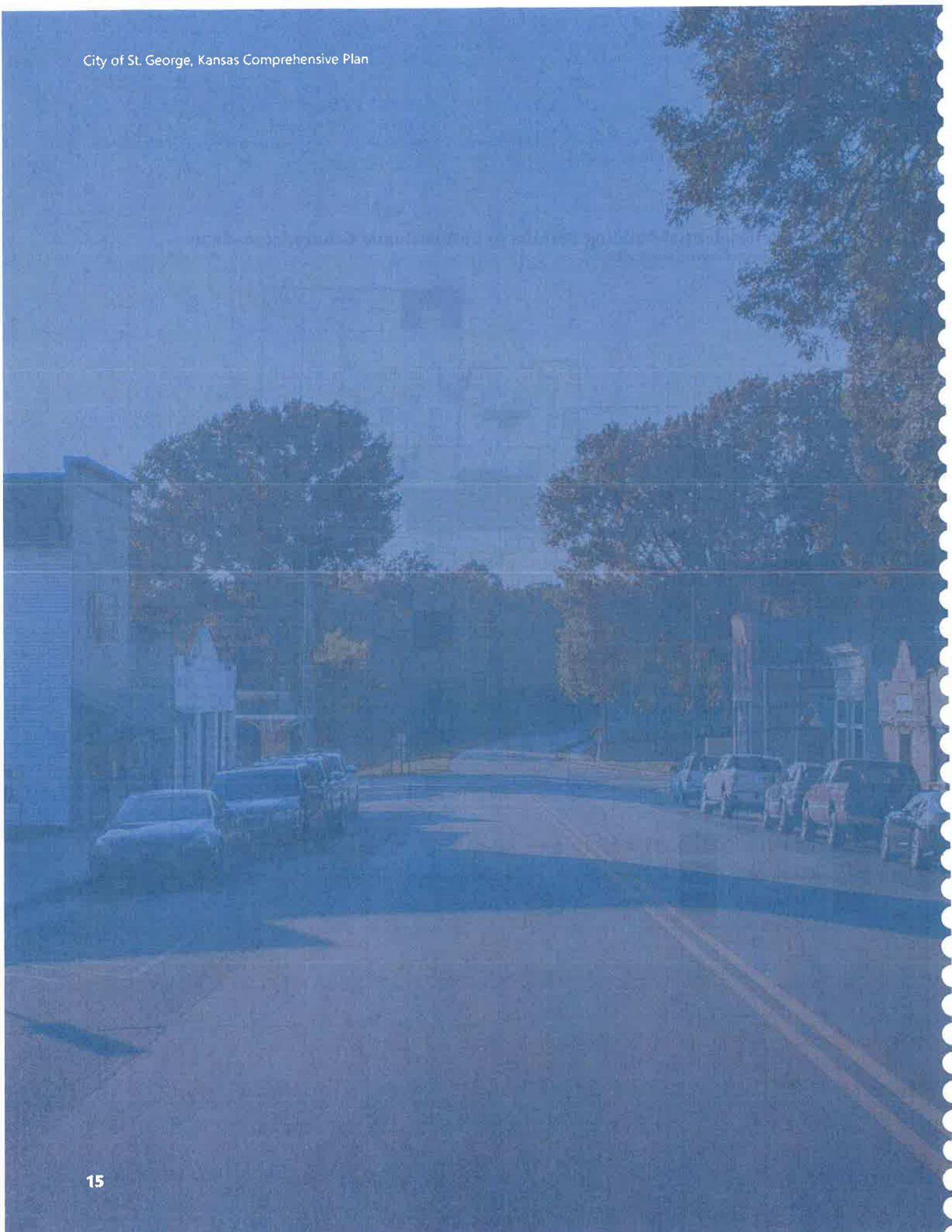
	2000	2010	2019	2000-2010 % Change	2010-2019 % Change
St. George	173	228	302	31.8%	32.5%
Onaga	298	286	337	-4.0%	17.8%
Westmoreland	257	301	301	17.1%	0.0%
Wamego	1,610	1,758	1,908	9.2%	8.5%
Manhattan	16,981	20,008	20,252	17.8%	1.2%
St. George Township	986	1,192	1,506	+20.9%	+26.3%
Pottawatomie County	6,771	7,764	8,698	+14.7%	+12.02%

▼ **Table 1.6. Residential Building Permit Trends, 2010-2020**
 Pottawatomie County; City of St. George

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020
St. George Township											
Single Family (Subdivision)	14	20	16	30	38	31	19	13	11	16	10
Single Family (Non-Subdivision)	3	4	2	3	4	7	16	6	2	12	14
Multi-Family	0	0	0	0	0	0	0	0	0	0	0
Mobile Home	0	0	0	1	0	2	1	0	1	1	0
City of St. George											
New Homes	-	-	32	19	17	13	17	8	11	9	

▼ **Figure 1.9. Residential Building Permits in Pottawatomie County, 2010-2020**
 Pottawatomie County Planning and Zoning







2040 Comprehensive Plan

The 2040 St. George Comprehensive Plan ultimately represents a strategic direction, or “big picture,” for the short and long-term future of St. George. Through the plan development process, an in-depth analysis was conducted on the City’s existing conditions. Based on this analysis and community feedback received during the public engagement process, opportunities for the future of the physical environment, economic vitality, and community livability started to emerge. This chapter highlights the opportunities in St. George with regard to the goals and implementation strategies for growth and development, economic development, housing, transportation and mobility, parks and recreation, and services and infrastructure.

St. George Community Vision

In the year 2040, the City of St. George is known for its wholesome small-town atmosphere. St. George honors its past while promoting an inviting downtown surrounded by safe neighborhoods that meet the needs of the current and future generations of residents. The City governs in a way that is transparent, inclusive, responsible, and sustainable. With an identity unique to itself, St. George showcases its exceptional quality of life through family-friendly events, access to the Kansas River, and all-season recreation opportunities.

Community Values

As the City of St. George progresses throughout the next 20 years, it is important to showcase the foundation of this Comprehensive Plan, the shared community values. These values define the quality of life residents wish to preserve.

- » *St. George is known throughout the region for its exceptional school(s).*
- » *St. George is home to family-friendly events and festivals that are well-attended and gather the community.*
- » *St. George is a place where children and adults feel safe walking and biking to schools, parks, and downtown.*
- » *The Kansas River and other recreation opportunities are easily accessible in St. George. This access supports local businesses and inspires people to spend time in St. George.*
- » *St. George is where you run into neighbors, friends, and acquaintances at local stores, restaurants, and parks.*
- » *St. George is a place where residents take pride in their community.*
- » *St. George prioritizes its residents in decision-making.*

Plan Goals and Implementation Strategies

The St. George community values describe what makes St. George special. Throughout this comprehensive plan process, residents and stakeholders have mentioned how much they value St. George as a community and have demonstrated passion and momentum throughout the planning process. It is paramount that this momentum continues from the planning process into the implementation process. Certain policies within this plan require technical action however, there are several components that can only come into fruition if residents invests their time and efforts to shape the overall quality of life in the place they call home.

Based on current City needs as well as community input, the listed policies have the potential to carry out the community vision moving forward:

Growth and Development

- » Manage population growth while supporting the preservation of a small-town quality of life.
- » Remain a "freestanding" community within Pottawatomie County with distinct municipal borders and a unique identity that celebrates the historic and river-based character of St. George.

Economic Development

- » Leverage St. George's strategic location and developable areas in its downtown and along the US-24 corridor to attract and retain businesses.
- » Build external awareness of St. George.
- » Advance partnerships with local businesses and organizations.

Housing

- » Promote a diverse housing inventory to accommodate St. George's growing population while maintaining a small-town character.
- » Address community cleanup and rehabilitation.

Transportation and Mobility

- » Provide a transportation system that prioritizes a safe and connected network for all modes of travel.
- » Invest in the preservation and maintenance of the existing transportation infrastructure.

Parks and Recreation

- » Support parks and recreation facilities that are well-maintained and accommodate a range of recreational activities.
- » Put on and communicate recreational programming and events to provide opportunities for the community to be physically and socially active.

Services and Infrastructure

- » Provide adequate, resilient services and infrastructure to meet the demand of residents and businesses.

Growth and Development: Goals and Implementation Strategies

Goal 1:

Manage population growth while supporting the preservation of a small-town quality of life.

- G 1.1. Establish a capital improvement plan (CIP) and adopt capital spending strategies for transportation, city infrastructure, and community facilities. Update annually.
- G 1.2. Adopt a requirement for a full unbiased fiscal impact analysis for all major development projects.
- G 1.3. Maintain current cost of service data to conduct a fiscal impact analysis to guide growth and development decisions.
- G 1.4. Promote commercial infill especially downtown. Encourage buildings to have higher lot coverages and attractive street frontages.
- G 1.5. Promote contiguous development patterns that allow for more efficient and cost-effective provision of services.
- G 1.6. Communicate with Unified School District 323 in regard to new developments that may impact school enrollment.

Goal 2:

Remain a “freestanding” community within Pottawatomie County with distinct municipal borders and a unique identity that celebrates the historic and river-based character of St. George.

- G 2.1. Coordinate with Pottawatomie County on land use decisions within the ‘Greater St. George’ boundary.
- G 2.2. Maximize available land within the city limits for further infill development opportunities in key activity areas including downtown, near the elementary school, and adjacent to other community assets.
- G 2.3. Create directional signage along US-24 to St. George.
- G 2.4. Within the city limits, add wayfinding signage and community entryway improvements at strategic locations to highlight local assets.

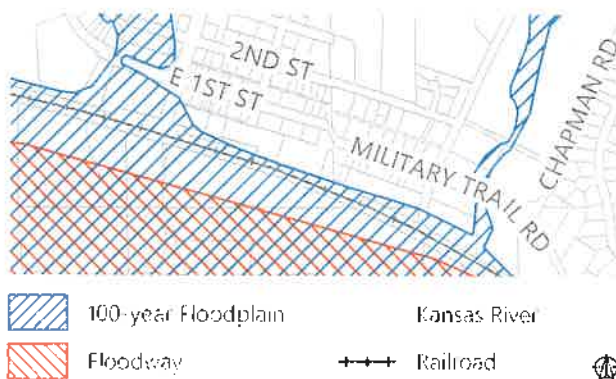
Growth and Development

This section includes a vision for St. George's growth, development, community character, and land use. The ideas and concepts included in this section were developed from an analysis of the existing conditions and community feedback. This information is meant to serve as a guide to direct changes in land use over time.

Floodplain Growth Constraints

Growth areas exist to the north, east, and west of the existing city limits; however, development south of St. George is constrained by the 100-year floodplain, floodway, and the Kansas River (Figure 2.1. and 2.2.). In order to develop the land south of St. George, appropriate measures must be taken to ensure that flooding-related conflicts are minimized. Development in these areas is often discouraged because any development would require flood insurance and an engineering evaluation that shows development will not obstruct the floodway and will not increase the base flood elevation. If development of this southern section of the city proves unfeasible due to costs associated with regulatory compliance, the City should consider alternative parks and recreation amenities in this location.

▼ **Figure 2.1.**
Flooding in Southern St. George



Development Strategies

Capital Improvement Plan

A Capital Improvement Plan, or CIP, looks at the "big picture" of community needs. A CIP is a comprehensive five-to-six year plan of proposed capital projects that is updated annually. It is intended to identify the needs of the community within the fiscal capabilities and limitations of the municipality. The CIP is a living planning document and is subject to change as the needs of the community change.

Within a typical CIP, the first year is the basis for actual appropriations authorized by the governing body for capital projects when adopting the Annual Budget. Some jurisdictions have a bi-annual Capital Budget. The remaining years serve as a guide for the future development of new and replacement infrastructure needs. The overall CIP schedule is formulated to reflect local priorities and needs by taking into consideration local goals, urgency of a project, ability to administer a project, and the potential for future funding.

Fiscal Impact Analysis

A fiscal impact analysis can help St. George understand the short and long-term pros and cons of a proposed development. This analysis "clarifies the financial effects of such policies and practices by projecting net cash flow to the public sector resulting from residential and nonresidential development."² In certain cases, it may be advantageous to hire an impartial outside expert, such as a consultant, because local bias can sometimes arise when dealing with land-use policies and tax rates.

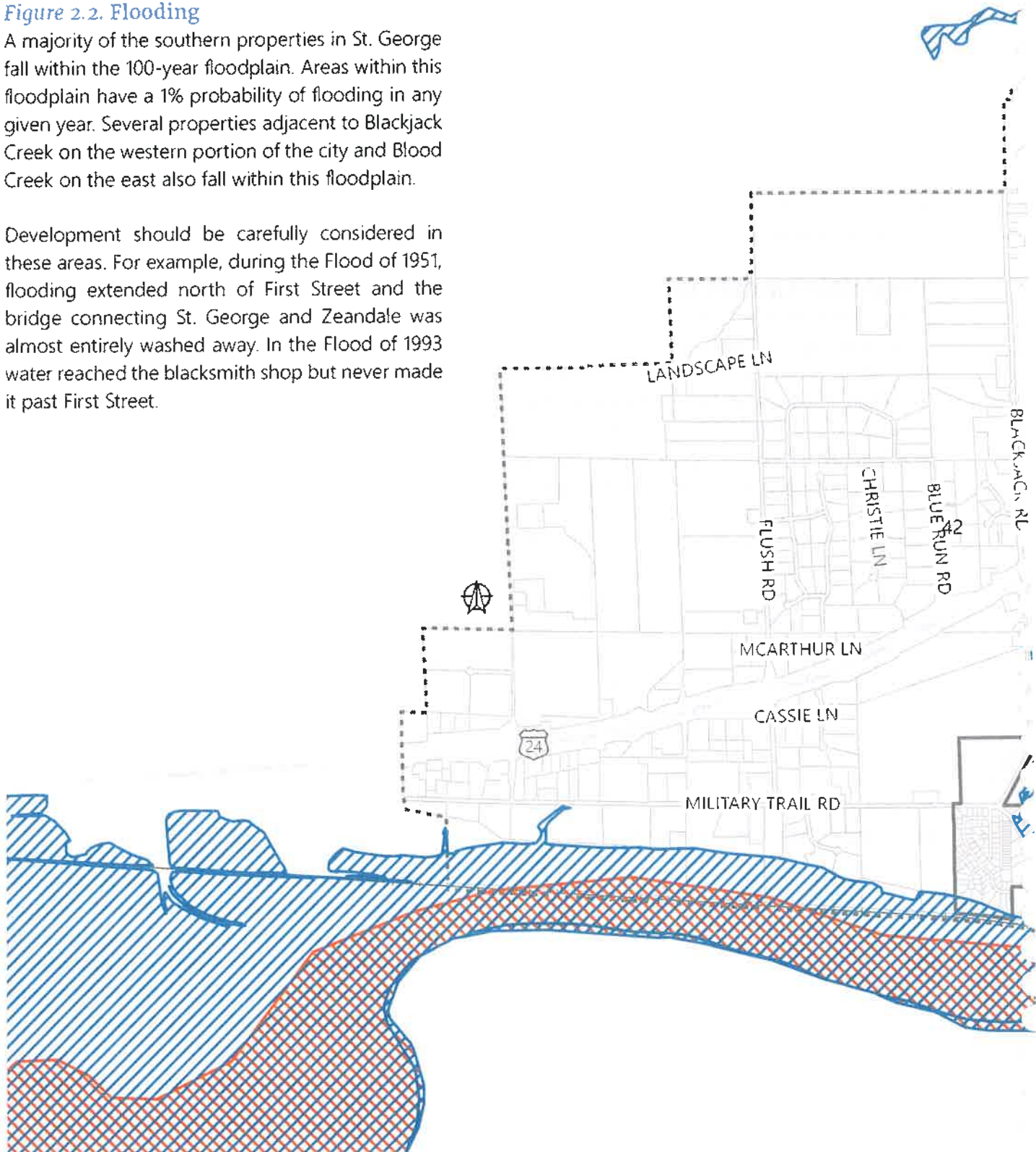
¹ Capital Improvement Planning: An Introduction for Local Leaders, 2018

² Fiscal Impact Analysis: Methodologies for Planners, 2010

Figure 2.2. Flooding

A majority of the southern properties in St. George fall within the 100-year floodplain. Areas within this floodplain have a 1% probability of flooding in any given year. Several properties adjacent to Blackjack Creek on the western portion of the city and Blood Creek on the east also fall within this floodplain.

Development should be carefully considered in these areas. For example, during the Flood of 1951, flooding extended north of First Street and the bridge connecting St. George and Zeandale was almost entirely washed away. In the Flood of 1993 water reached the blacksmith shop but never made it past First Street.





Development Strategies Continued

Annexation

Annexation is a term that may appear to be complex however, it can be explained quite simply. This section is meant to provide a brief overview of the term and process.

Defining Annexation

Annexation is the process where a city adds land to its boundary in order to extend its services, laws, voting privileges, and/or to better serve residents. Not just any area of land can be annexed by a city. Annexation can only occur in an area:

1. if the property owners request it or give consent;
2. if the area meets the criteria for unilateral annexation without the property owners consent; or
3. if the area is annexed with the approval of the Pottawatomie County Board of County Commissioners.

Reasons for Annexation

In many cases, a property owner requests to be annexed into a city so that they may receive services such as water and sewer. In other cases, the property is in the natural path of growth. Regardless of the reason, annexation allows for additional growth whether that is through additional population or expanding community services and increasing the tax revenue. However, it is important to note that it is improper for an annexation to be solely motivated by an increase in tax revenue (*Douglas County v. City of Valley*).

Types of Annexation

1. Requested annexations occur when a property owner has land that adjoins the city limits and petitions their land to be annexed. If the land does not touch the city limits but the property owner wants to be annexed, county approval would be required in order for the city to “island” annex the property. An island annexation must not be used as a base, or “bridge,” for future unilateral annexations.
2. Unilateral annexations: occur when a municipality wishes to annex land without the permission of the property owner. Kansas law outlines the criteria and procedures for unilateral annexation by a municipality. This includes notification of affected property owners, at least one public hearing, boundaries of the land to be annexed, and the preparation of a municipal services plan.

Considerations When Annexing

As with any action on annexation, there are several important considerations:

1. the ability for the city to provide community services and utilities, such as extensions to water, sewer, and police;
2. the existing and proposed land use for the potential annexation and the impact on neighboring land uses; and
3. the financial ability and impact.

Extraterritorial Jurisdiction

An extraterritorial jurisdiction, or ETJ, is the ability of a municipality to assert legal power beyond the city limits. St. George currently exercises no extraterritorial control over the unincorporated area of Pottawatomie County. Kansas law allows cities to have ETJs for various regulatory controls such as zoning, subdividing, floodplain administration, and so forth. If St. George desired an ETJ for zoning, per state law, the city would have to officially request that the county turn over its zoning administration of the area before that city could adopt its own zoning regulations in that area.

Infill (Re)development

Infill development is a growth type that encourages commercial or residential development in areas where utilities and services are already provided (Figure 2.3). Providing services to new homes and businesses in existing neighborhoods is much less expensive for the community than providing services to neighborhoods on the edge of town. Before considering service extensions, it may be advantageous for the city to explore opportunities to redevelop vacant or under-utilized properties within the city limits.



▲ **Figure 2.3. Growth Types**

Quantifying urban growth patterns in Hanoi using landscape expansion modes and time series spatial metrics, 2018



▲ **Figure 2.4. Physical Community Character Improvements**

Community Character

The terminology of community character can have several different definitions, however, the community character in St. George is a celebration of the unique culture, identity, history, and natural and man-made surroundings.

Though community character can sometimes fall under the radar as it can be attributed to a feeling, there are physical improvements that can be made to celebrate St. George's unique community character. Community entrances, wayfinding signage, and landscaping are a few examples. These types of improvements are typically low-cost to the city and can make a lasting impression on both residents and visitors.

A successful existing example of community character in St. George is the Black Jack Spring located on the southeast side of the Lincoln Ave and 3rd St intersection (Figure 2.4). In the community-wide survey, Black Jack Spring was viewed as one of the top 10 most special things about St. George. A respondent even mentioned that this asset could be enhanced by adding some landscaping elements.

Current Land Use

An inventory of current land uses in St. George was conducted as part of the comprehensive plan process. By understanding current land uses, the City can focus resources in order to achieve the desirable future for the community. From this land use inventory, a future land use plan can be developed. The following list defines the existing land uses:

Current Land Use Definitions

Agriculture

Agricultural land is the most prevalent land use in much of the 'Greater St. George' area. This land is primarily used for cultivating and raising crops and/or livestock. Agricultural uses also include the land used for the storage of agriculture-related equipment and goods.

Rural Residential

Rural Residential properties are common in the 'Greater St. George' area and can often be identified as a dwelling unit on a large lot. Sometimes, rural residential land uses include limited agricultural uses.

Single Family Residential

The majority of land within the City of St. George is comprised of detached single family homes. These are stand-alone structures are designed for occupancy by one or more people who live as a single household.

Duplex

Duplexes are a multi-family home with two living units in one building. In St. George, they are typically attached horizontally with separate entrances. They are designed for occupancy by two or more households living independently of each other.

Manufactured/Mobile Home

Manufactured or mobile homes offer affordable housing options to many residents in St. George. By definition, manufactured and mobile homes are transportable structures that can be built on a permanent chassis and are connected to utilities.

Recreational Vehicle (RV) Park

There is a RV Park located within the northeast corner of the city. At this park, there are nightly, weekly, and monthly lot rentals with full utility hook-ups.

Commercial

Commercial properties are primarily located along major roadways such as US-24 or First Street. They consist of a wide range of for-profit uses that include retail, offices, restaurants, storage-facilities, hotels, and other services.

Public/Semi-Public

Public/Semi-Public land uses cover a variety of uses ranging from schools, municipal facilities, to places of worship. These are located throughout the city and are located in both residential and commercial areas.

Parks/Open Space

Parks include both private or public sites with recreational amenities. In St. George this includes City Park, the ball fields, and Boggs Landing on the Kansas River.

Utility

Utility uses include sites and facilities that accommodate critical infrastructure such as wells, electrical support towers, and more.

Undeveloped/Vacant

Vacant areas include land that is not currently in active use, but may be developed in the future.

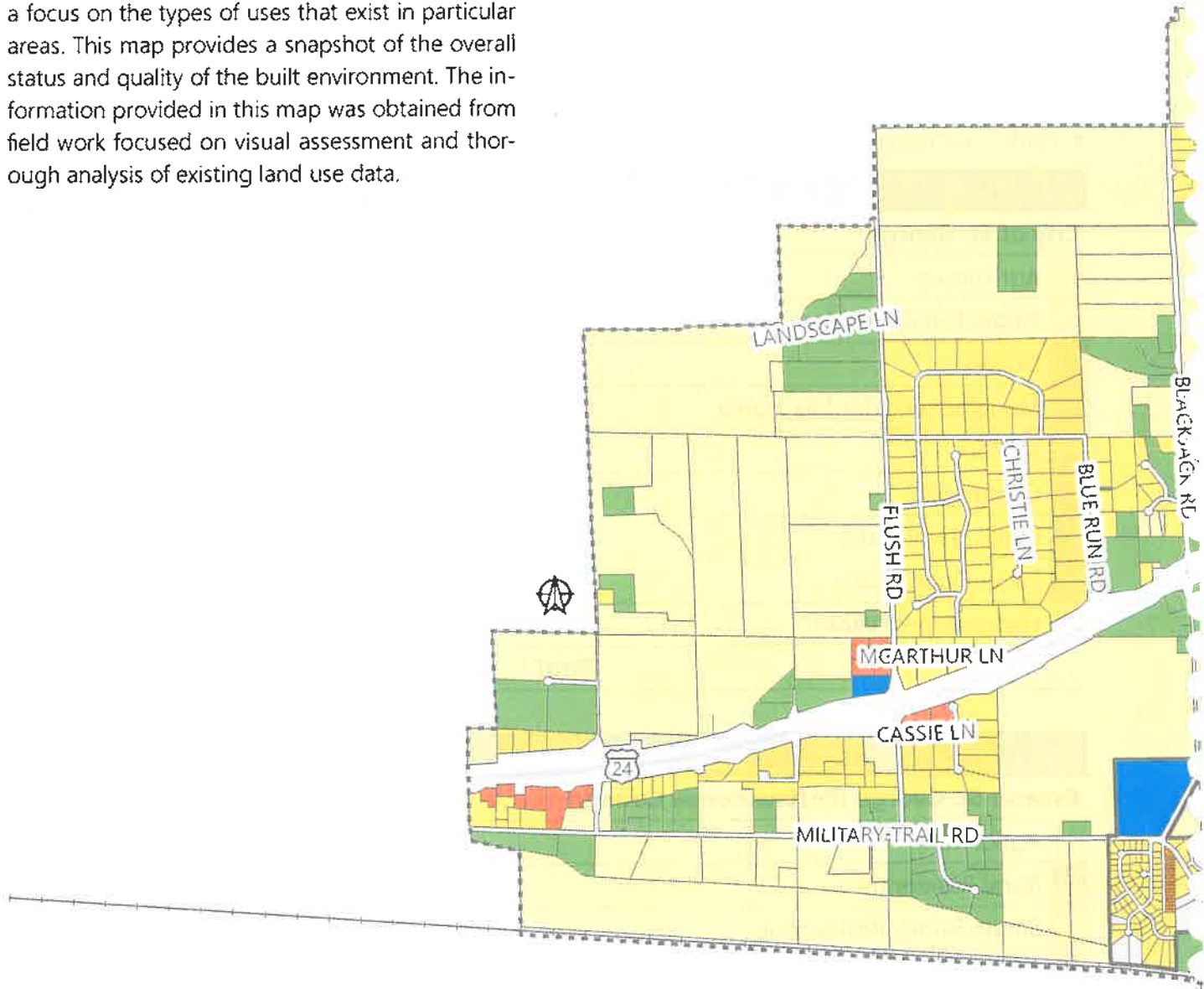
▼ **Table 2.1. Current Land Use Descriptions**

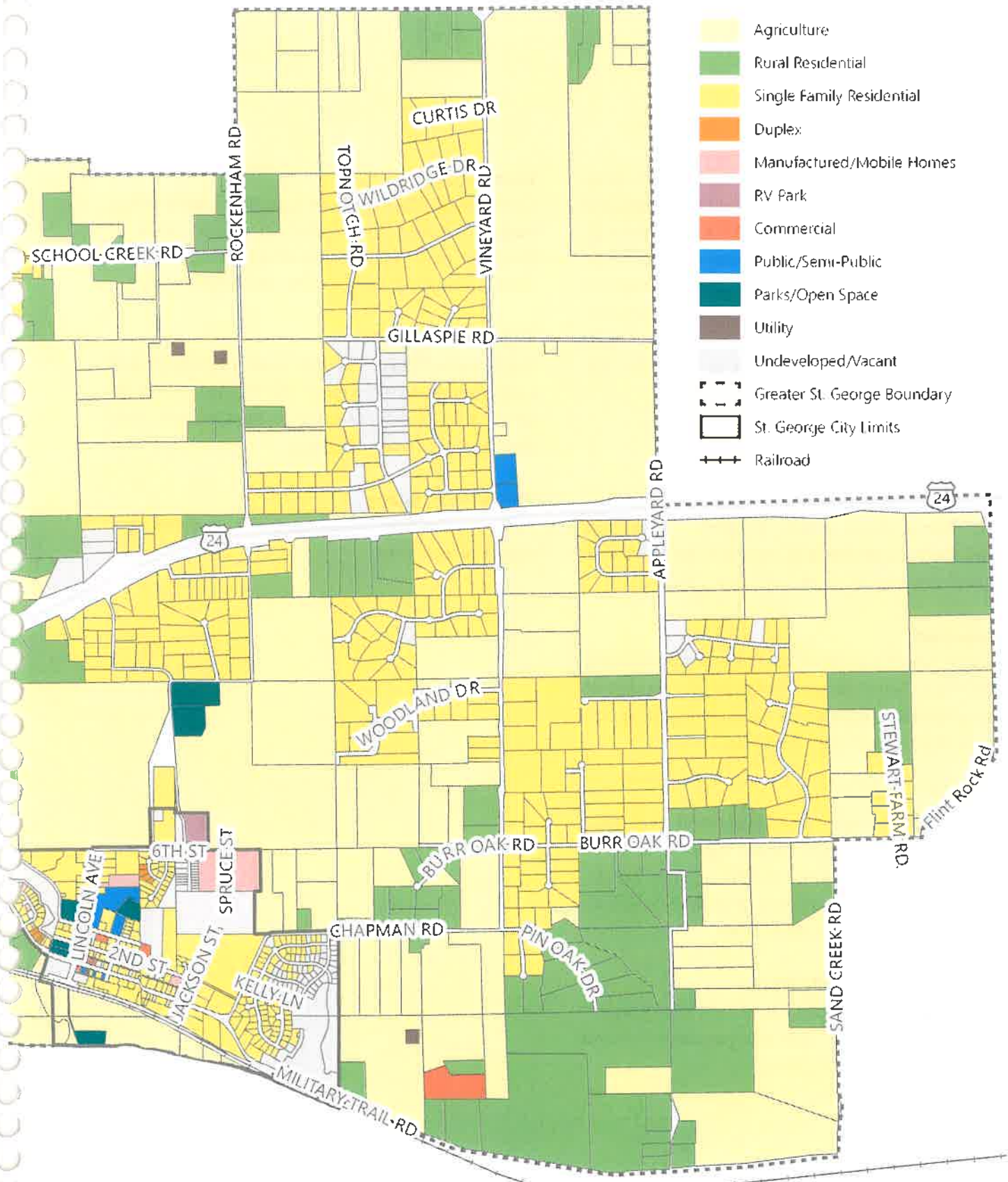
	Acres	Percentage
City of St. George		
Agriculture	32.8	9.3%
Single Family Residential	152.0	43.0%
Duplex	6.4	1.8%
Manufactured/Mobile Home	20.0	5.7%
RV Park	3.9	1.1%
Commercial	2.4	0.7%
Public/Semi-Public	29.2	8.3%
Parks/Open Space	7.9	2.2%
Undeveloped/Vacant	98.8	28.0%
Total	353.4	

	Acres	Percentage
Greater St. George (Pottawatomie County)		
Agriculture	3,518.0	60.3%
Rural Residential	925.1	15.9%
Single Family Residential	1,265.5	21.7%
Commercial	29.6	0.5%
Public/Semi-Public	9.4	0.2%
Parks/Open Space	12.3	0.2%
Utility	2.9	0.1%
Undeveloped/Vacant	66.7	1.1%
Total	5,829.5	

Figure 2.5. Current Land Use

The map of existing land use patterns within St. George and the 'Greater St. George' area provides a focus on the types of uses that exist in particular areas. This map provides a snapshot of the overall status and quality of the built environment. The information provided in this map was obtained from field work focused on visual assessment and thorough analysis of existing land use data.





Future Land Use

A Future Land Use Map provides the basis for guiding the type, intensity, and location of different land uses within the current city limits and 'Greater St. George' area. This map is a spatial representation of the concepts and ideas discussed throughout the planning process. It considers the existing conditions, community vision, values, and stakeholder aspirations into changes on the ground. The following list defines the future land uses:

Future Land Use Definitions

Agriculture

Agricultural land is primarily used for cultivating and raising crops and/or livestock. Agricultural uses also include the land used for the storage of agriculture-related equipment and goods.

Suburban

In accordance with the Plan Pottawatomie County 2040 Plan, Suburban uses are primarily residential, but small-scale commercial uses could be appropriate along major road corridors.

Duplex

Duplexes are a multi-family home with two living units in one building. They are typically attached horizontally with separate entrances. They are designed for occupancy by two or more households living independently of each other.

Manufactured/Mobile Home

Manufactured or mobile homes are transportable structures that can be built on a permanent chassis and are connected to utilities.

Commercial

Commercial properties are typically located along major roadways. They consist of a wide range of for-profit uses that include retail, offices, restaurants, storage-facilities, hotels, and other services.

Public/Semi-Public

Public/Semi-Public land uses cover a variety of uses ranging from schools, municipal facilities, to places of worship. These are often located in both residential and commercial areas.

Parks/Open Space

Parks include both private or public sites with recreational amenities.

Scenario: Current Land Use, Future Land Use, and Zoning



The Tract Today

Jane buys an 80-acre tract to live on and farm. The tract will remain Agricultural for as long she wants the tract to remain so.

The decision to change the land use or zoning on Jane's 80-acre tract rests entirely with Jane regardless of what her tract is designated within the Future Land Use Map of the Comprehensive Plan.



Future Land Use

After owning and farming the tract for 10 years, Jane decides she is ready to sell the tract, and thinks this tract could be sold for development. The Future Land Use Map designates Jane's tract as Suburban. The Future Land Use Map is a guide to what future uses are appropriate for this area. Since it is designated as Suburban the tract is geared more toward residential uses, and the plan suggests that uses like manufacturing, and large-scale commercial are not appropriate for this location. The local Planning Commission will use the Future Land Use Map, amongst other factors, to help them determine whether or not a zoning change from Agriculture to Suburban is appropriate for this area.



Zoning

Since the tract is designated as Suburban, Jane decides to request a change of zoning from Agriculture to Residential to allow for a housing development.

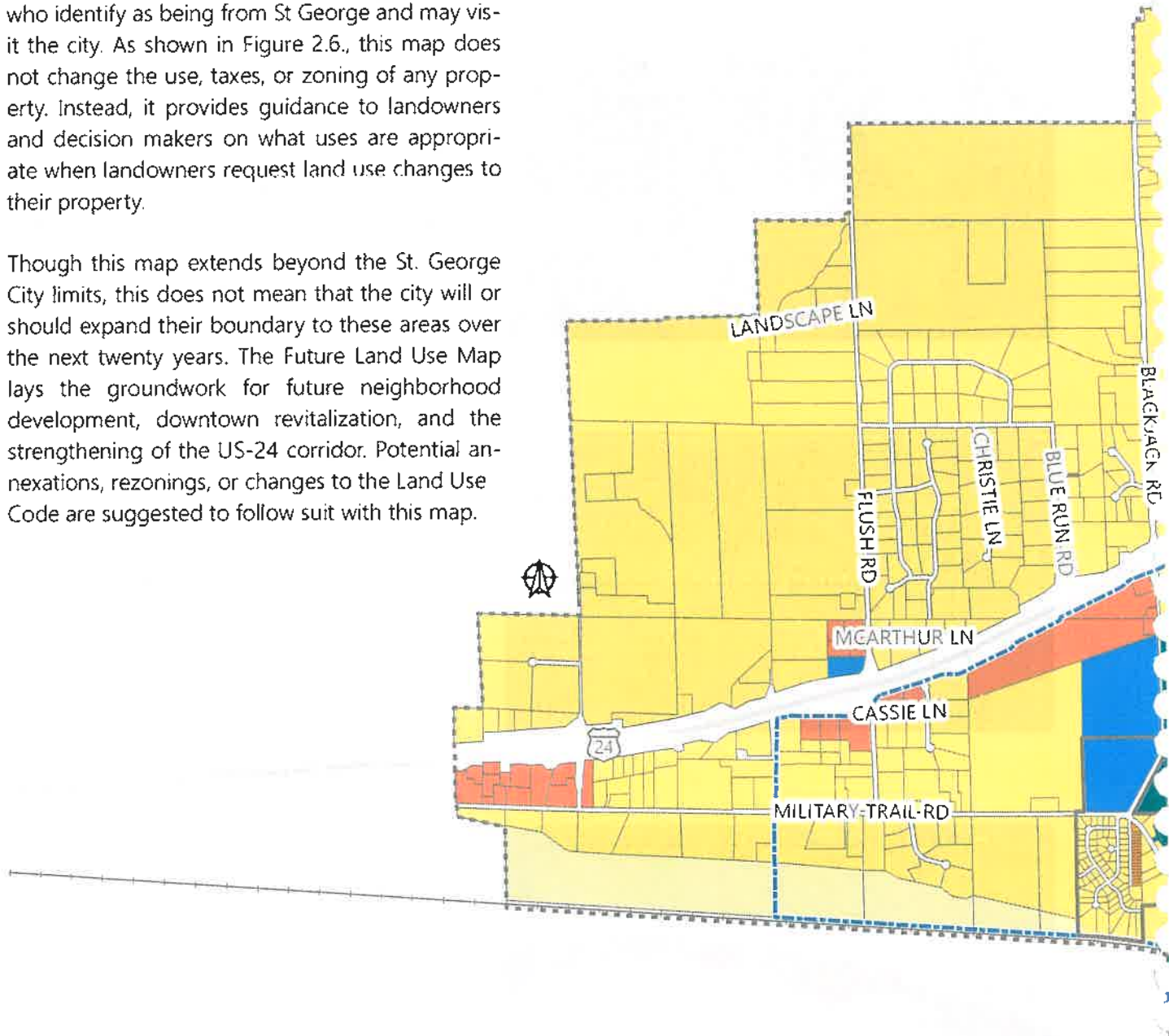
The local Planning Commission will use the Future Land Use Map, amongst other factors, to help them determine whether or not a zoning change from Agriculture to Residential is appropriate for this area.

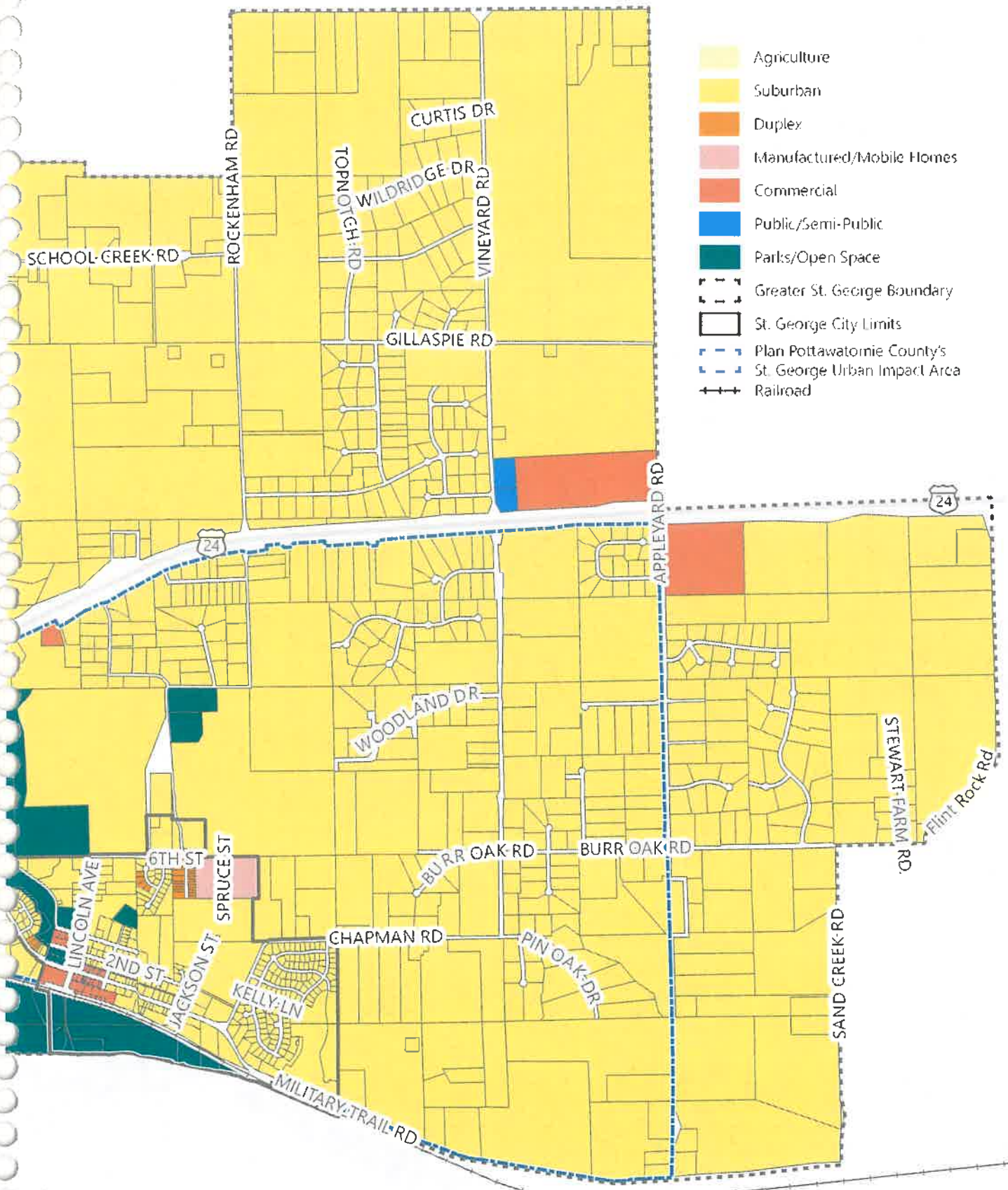
▲ Figure 2.6. Jane's Tract Land Use Scenario

Figure 2.7. Future Land Use Concept Map

It is important to note that the 'Greater St. George' boundary is a planning influence area of people who identify as being from St. George and may visit the city. As shown in Figure 2.6., this map does not change the use, taxes, or zoning of any property. Instead, it provides guidance to landowners and decision makers on what uses are appropriate when landowners request land use changes to their property.

Though this map extends beyond the St. George City limits, this does not mean that the city will or should expand their boundary to these areas over the next twenty years. The Future Land Use Map lays the groundwork for future neighborhood development, downtown revitalization, and the strengthening of the US-24 corridor. Potential annexations, rezonings, or changes to the Land Use Code are suggested to follow suit with this map.





Economic Development: Goals and Implementation Strategies

Goal 1:

Leverage St. George's strategic location and developable areas in its downtown and along the US-24 corridor to attract and retain businesses.

- E 1.1. Conduct regular business outreach to determine if there are issues the City can assist with to help expand and retain local businesses.
- E 1.2. Seek partnerships that will help St. George attract new businesses.
- E 1.3. Maximize available land within the city limits for development.
- E 1.4. Utilize the Kansas River as an asset to increase community and economic activities.
- E 1.5. Leverage the region's Animal Health Corridor designation.
- E 1.6. Explore the feasibility of establishing a benefit district.
- E 1.7. Consider flexible space for a farmers market, food trucks, beer gardens, and other small vendors.

Goal 2:

Build external awareness of St. George.

- E 2.1. Develop a marketing plan for St. George.
- E 2.2. Continue St. George's partnership with the region's Communities to Call Home marketing tool.

Goal 3:

Advance partnerships with local businesses and organizations.

- E 3.1. Foster partnerships with economic development organizations interested in promoting St. George.
- E 3.2. Partner with local resources to conduct a market analysis for both downtown and the corridor along US-24.
- E 3.3. Continue to support the classroom-to-career program at St. George Elementary School.
- E 3.4. Participate in regional recovery and resiliency planning efforts.
- E 3.5. Promote information about entrepreneurial-related events, programs and networking opportunities.
- E 3.6. Participate in a regional infrastructure committee to assist in prioritizing investment in infrastructure to support economic development.

Economic Development

Looking ahead to 2040 and predicting economic development and associated jobs can be difficult under any circumstances. However, forming a basis of goals and economic development tools that focus on both the economic and social wellbeing of a community can result in long-term economic success and resiliency. These goals can also help determine land needs for development.

Many areas of community development parallel the priorities of economic development, as illustrated in Figure 2.7. The economy plays a crucial role in sustaining the quality of life in any community. A healthy economy can lead to quality schools, infrastructure, parks, and so much more.

In fact, economic development was at the forefront of the community-wide survey. One of the top priorities of respondents was the expansion of businesses, especially shopping and dining opportu-

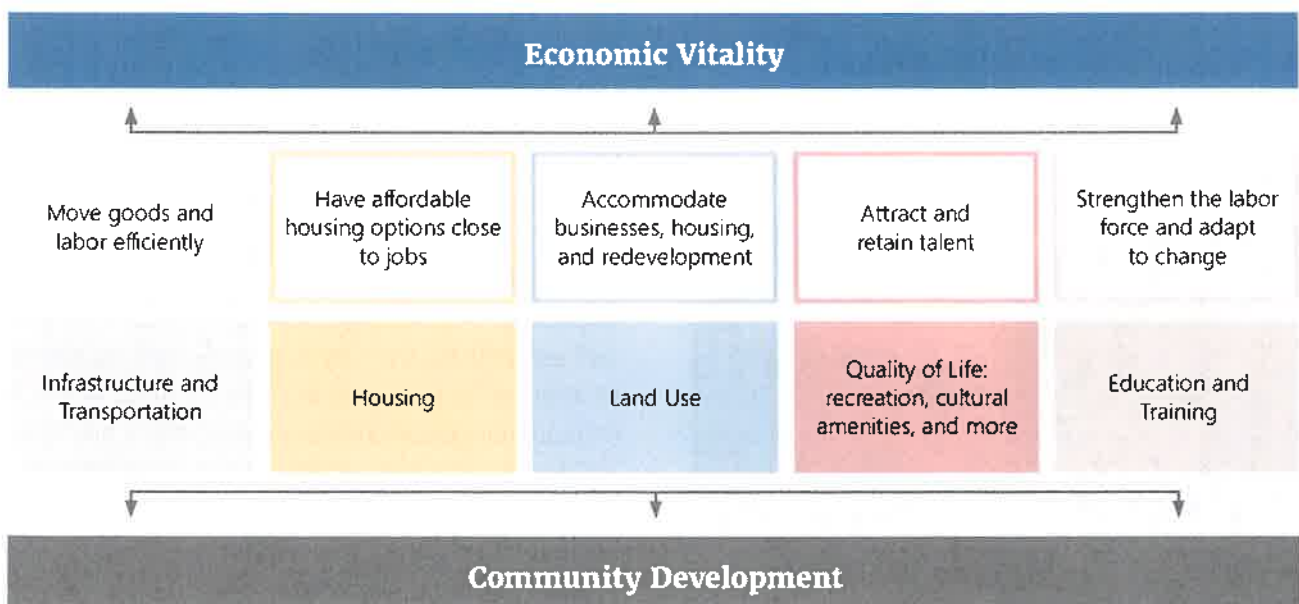
nities. Residents and stakeholders alike want more small businesses and hope to see downtown as a healthy and viable central business district. Many respondents also wanted to see some commercial opportunities along US-24.

The good news is St. George has access to several existing private and public resources. There are organizations within Pottawatomie County and the Flint Hills region that can help support and spur economic development efforts through either their expertise, connections, and/or financial support. Some of the top economic development priorities in the region are:

1. Infrastructure Development,
2. Workforce Development,
3. Business Retention and Attraction, and
4. Small Business Development

▼ **Figure 2.8. Building Blocks for a Sustainable Economy**

Economic and Planning Systems, Inc.





▲ **Figure 2.9. Historic Downtown St. George Facing Northeast**



▲ **Figure 2.10. Current Downtown St. George Facing Northwest**



▲ **Figure 2.11. Kayaking on the Kansas River near St. George**

Community and Regional Assets

Downtown St. George

Downtown St. George is the historic core of the community as shown in Figure 2.8. It currently has many key assets including restaurants, government facilities, and offices. These businesses are primarily locally owned and operated. At the time of the development of this plan, most businesses are healthy but the current downtown sits on a precarious edge.

Certain businesses such as Five Loaves and Willie's are listed as the most special things about St. George. However, community-wide survey respondents also listed downtown revitalization as one of the top priorities for future improvements. Some survey respondents like having city services downtown such as the post office. Additional respondents mentioned promoting downtown through community events and making visual and/or business changes will be essential to future downtown vibrancy.

St. George Riverfront

The St. George riverfront is known throughout the region for its boat ramp access to the Kansas River. Many people use the ramp for kayaking and either start their journey in Manhattan, kayak down to St. George to take a break in the community, and continue down the river to Wamego or exit the boat ramp in St. George. Though the boat ramp is well established, the City is actively making efforts to improve its riverfront in order to bring in more recreational opportunities, spark tourism, and spur additional economic growth. Specific riverfront development concepts can be found in the Parks and Recreation section of this chapter.

Animal Health Corridor

The Kansas City Animal Health Corridor sits between Manhattan, Kansas and Columbia, Missouri. This corridor has the largest concentration of animal health interests in the world with more than 300 companies supporting the Animal Health Industry representing 56% of worldwide animal health, diagnostics, and pet food sales. Future businesses in or near St. George could benefit from this type of designation.

Tools and Strategies

Benefit District

An important tool Kansas cities have is a benefit district which can limit the cost of various public improvements to those properties who benefit from the improvements. These areas help pay for the infrastructure associated with new development such as roadways, sidewalks, water lines, and sanitary sewers. Kansas law allows multiple improvement projects to be combined within a single benefit district. Benefit districts can be beneficial to cities because they protect residents of already established neighborhoods from an obligation to pay for development in new areas.

Marketing St. George

Marketing a community is a low-cost critical component to success that can be used for many years. When thinking of marketing, logos and taglines typically come to mind. For St. George, the work has already started by adopting the city logo and motto, *The Kansas River City* (Figure 2.12). For many other cities of various sizes, marketing can bring tourism into the community while also helping to build community pride.

Marketing a community should extend beyond a logo and motto and become visible in a community through community entrance signage, wayfinding signage, banners at events, and more. Discussions on marketing strategies engage local citizens, organizations, and regional partners. A marketing committee has not yet been formed in the City of St. George. However, forming a committee of this nature would be beneficial to the City as they would spearhead ideas and implementation for marketing related activities.

▼ Figure 2.12. St. George Logo and Motto



Housing: Goals and Implementation Strategies

Goal 1:

Promote a diverse housing inventory to accommodate St. George's growing population while maintaining a small-town character.

- H 1.1. Promote and provide a mix of housing types to accommodate a range of incomes, ages, and families.
- H 1.2. Establish a Rural Housing Incentive District to provide incentives for the creation of new housing within the city limits.
- H 1.3. Work with current and future downtown building owners to find ways to develop upper story housing throughout downtown.

Goal 2:

Address community cleanup and rehabilitation.

- H 2.1. Host an annual neighborhood cleanup event.
- H 2.2. Focus on and prioritize the rehabilitation of highly visible areas and enforcement of codes.
- H 2.3. Undertake a Neighborhood Revitalization Program to encourage property improvements and/or new construction.
- H 2.4. Identify housing stock in need of rehabilitation or demolition as part of a Housing Needs Assessment completed every five years.
- H 2.5. Explore incentive programs to encourage property owners to make improvements to their residential properties.

Housing

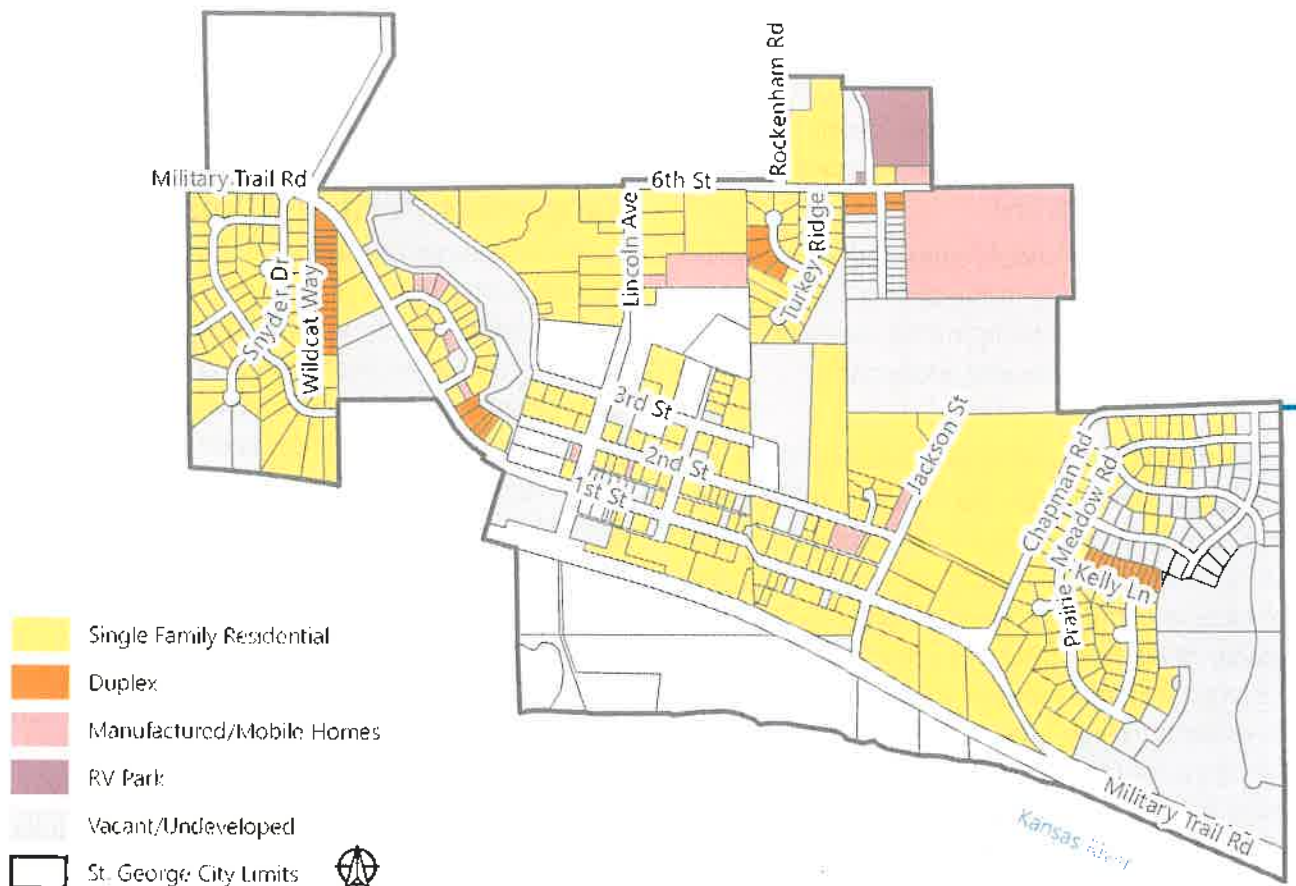
Attractive neighborhoods and a diversity of housing stock at affordable prices is crucial to maintaining St. George’s position as a desirable place to live in Pottawatomie County and the Flint Hills region.

Currently, there is a slight variation of housing stock that ranges in age. Historically, the neighborhoods in St. George have almost exclusively offered detached, single family homes; however, in recent years, there has been a demand for other housing types, such as duplexes which accommodate other

housing needs such as homes for young professionals and seniors (Figure 2.13). A Comprehensive Plan provides an opportunity to strategically plan for the next phase of housing to ensure the new housing development(s) meet the current and future needs of residents. The community-wide survey revealed a range of views on how housing and neighborhood development should be prioritized and pursued in the future.

▼ **Figure 2.13. Existing Housing Stock**

This map provides data on the existing housing stock when the Housing Needs Assessment was conducted in January 2021.



Housing Diversification

The Cost of Different Housing Types

Figure 2.14. shows the citywide value per acre by different housing types. This analysis was created using a simple equation: the property value per housing type divided by the property size (acres). The purpose of this analysis does not promote one form of housing over another. One is not 'better' than the other. This is simply an analysis of data and a summary of findings to understand if certain residential development types maximize land value. Findings:

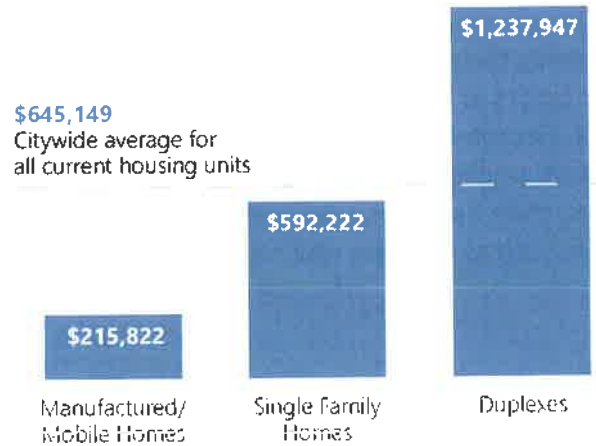
- » lower value properties on small lots, are often more valuable for a tax base than expensive properties on large lots;
- » large lots require more infrastructure, such as water and sewer;
- » smaller lots allow for more density without massive apartment complexes, maintaining a small-town feel; and
- » developments should support the infrastructure they require at the time of construction and more importantly in the future when they will need maintenance and repairs.

Promoting a Diversity of Housing Types

St. George has the potential to add a diversity of housing types. When cities only focus on one or two types of housing, usually single family homes, it creates a number of issues. Cities that limit the number of housing types are solely dependent on one type of resident for growth which may not allow for residents to "age in place" or attract populations such as young professionals, recent graduates, and young families locating to that community. Figures 2.15., 2.16., and 2.17. are examples of ways to diversify housing options in St. George.

▼ Figure 2.14. Citywide Value per Acre

Analysis conducted January 2021. Data for the City of St. George properties provided by Pottawatomie County.



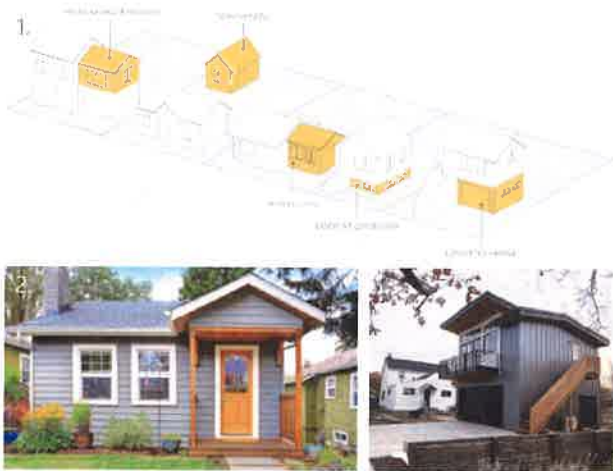
Supporting Revitalization

Rural Housing Incentive District

Rural Housing Incentive Districts, are a state appointed alternative to special taxes for infrastructure improvements. Rural Housing Incentive Districts must be approved but they allow a City to use tax dollars to reimburse developers for the cost of installing new infrastructure. These districts are eligible for residential uses only and can only be used for the addition of public infrastructure projects.

Neighborhood Revitalization Program

Over a dozen communities in Kansas have adopted a Neighborhood Revitalization Program and had positive results. These programs provide property owners a high tax rebate to encourage the rehabilitation of existing properties. This often includes new construction, additions, and renovations.



◀ **Figure 2.15.**
Accessory Dwelling Unit

ADUs are a “sensitive” way to add a unit to a lot, which often cannot be seen from the street. These are often used to house extended family, provide housing for an additional family while increasing property value, or as a way for the original owner to downsize, but remain on-site.

¹City of Oakland; ²Jessica Letaw; and ³So Cal Builds



◀ **Figure 2.16.**
Denser, Walkable Neighborhoods

Many families, young professionals, and retirees are choosing to live in denser, walkable neighborhoods. Many residents like the small yards and sense of community that these developments offer. This neighborhood style promotes quality public space.

¹Mike DeVries - The Capital Times; ²Jeremy Murdock - Collierville, TN; ³Jeremy Murdock - Taylor, MS



◀ **Figure 2.17.**
Mixed Use Residential

These are buildings that include commercial uses on the ground floor and residential units on upper floors. Open space is generally in the form of balconies, terraces, and roof decks.

Wilson County, TN

Transportation and Mobility: Goals and Implementation Strategies

Goal 1:

Provide a transportation system that prioritizes a safe and connected network for all modes of travel.

- T 1.1. Work alongside the Flint Hills Metropolitan Planning Organization to adopt a Safe Routes to School Plan. This effort should identify sidewalk gaps and existing sidewalks needing maintenance.
- T 1.2. Ensure sidewalks are part of all new developments and are well-connected to existing development.
- T 1.3. Conduct a parking study to understand the demands and current supply of parking around the downtown area.
- T 1.4. Continue to engage with the US-24 Corridor Management Plan as a key stakeholder.
- T 1.5. Conduct a feasibility study for a bridge connection across the Kansas River to Zeandale.

Goal 2:

Invest in the preservation and maintenance of the existing transportation infrastructure.

- T 2.1. Identify long-term costs associated with preserving and maintaining the existing transportation system.
- T 2.2. Conduct preventative maintenance on the local road network and schedule reconstruction for locations with deteriorated conditions.

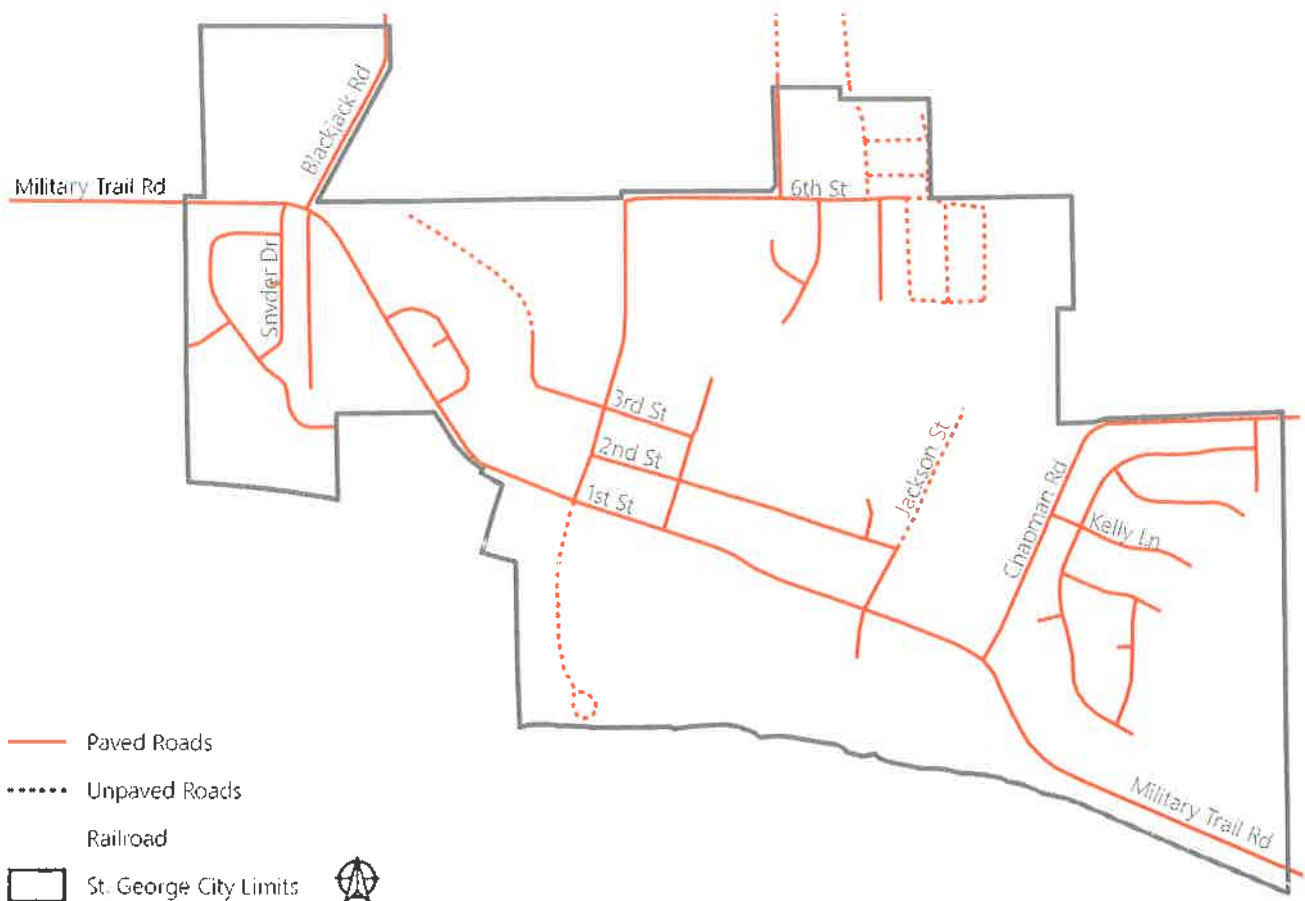
Transportation and Mobility

The transportation system in St. George is the backbone of the community. It ensures people and goods can be moved safely and efficiently, providing access to services, employment, schools, and recreation. The transportation system includes a network of roadways and sidewalks, which determine the accessibility of key assets. It is important to consider all roadway users when planning the future transportation network, accommodating people who drive, walk, bike, and/or use mobility devices, such as wheelchairs.

Roads

All roads within St. George city limits are local roads with an exception for Military Trail Road/First Street. The City of St. George is responsible for maintaining the local roads, including both paved and unpaved roadways (Figure 2.18). The existing roadway network was one of the most mentioned topics in the community-wide survey, often stating that the local roads needed improvements. Understanding the long-term preservation and maintenance costs of the roadway network should be considered in great detail before paving existing roads or adding infrastructure with new development.

▼ **Figure 2.18. Existing Roadway Network**
February 2021



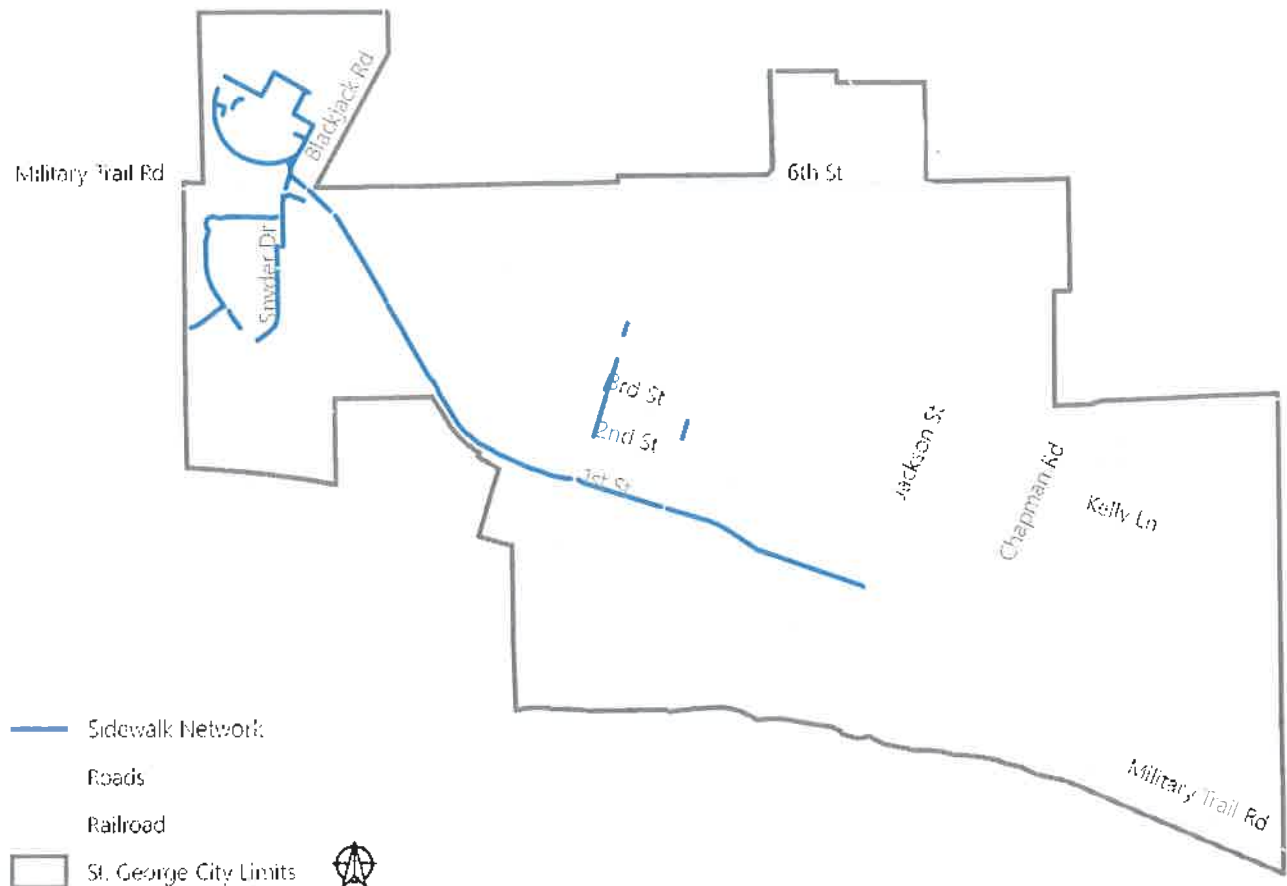
Sidewalks and Pedestrian Networks

Sidewalks were the most mentioned topic by survey respondents. The existing sidewalk network is limited and should be improved to provide a safe and efficient means for people walking and biking to move about the community (Figure 2.19).

All new developments should be required to install sidewalks and subdivisions with cul-de-sacs and curvilinear streets should identify pedestrian easements between these streets.

To aid with the infill of sidewalks in areas where they are absent, the City should develop a Safe Routes to School Plan in coordination with the school district. Safe Routes to School (SRTS) is a national program focused on improving the safety of children walking and biking to school. The SRTS Plan identifies potential projects, whether improved roadway crossings or missing sidewalks. The projects identified within the SRTS Plan are eligible for federal funds designated solely for SRTS.

▼ **Figure 2.19. Existing Sidewalk Network**
February 2021



Safety

To analyze the overall safety of our roadways, crash data is reviewed for the last five years, 2015-2019. During this time, only 11 crashes occurred in St. George, with three of them being injury crashes. Most crashes (73%) occurred at intersections. There was a single crash in 2015 that involved two cyclists being injured near the school. In the last three years, overall crashes and the severity of the crashes have decreased. The low crash rate in St. George is likely attributable to the lower speed limits within the community.

▼ **Table 2.2. Crashes in St. George and the number of injured, 2015-2019**

	2015	2016	2017	2018	2019
Crashes	3	4	2	0	2
Injuries	2	1	0	0	0

▼ **Table 2.3. Cause of Crashes in St. George, 2015-2019**

Bike/ Ped	Alcohol	Drugs	Dis- traction	Injury
1	0	0	2	3
9.1%	0.0%	0.0%	18.2%	27.3%

Parks and Recreation: Goals and Implementation Strategies

Goal 1:

Support parks and recreation facilities that are well-maintained and accommodate a range of recreational activities.

- P 1.1. Fund and develop a parks, recreation, and trails plan. Examine the possible opportunities, routes, and construction costs for options such as a splash pad, pool, dog park, and more.
- P 1.2. Actively partner with local businesses, regional and/or state partners, and other organizations to support river-based outdoor recreation opportunities.
- P 1.3. Explore opportunities for a new community event space that will enhance the appeal of St. George for events. Ensure that this space is connected to downtown and other key destinations.
- P 1.4. Ensure the City has appropriate funding and staffing levels to maintain parks and recreation facilities.

Goal 2:

Put on and communicate recreational programming and events to provide opportunities for the community to be physically and socially active.

- P 2.1. Maintain the Community Enrichment Team which focuses on the planning of new and existing events and festivals to generate economic and social activity.
- P 2.2. Work with Unified School District (USD) 323 to coordinate events or the public use of space at St. George Elementary.
- P 2.3. Clearly communicate recreational opportunities in St. George through the City website.
- P 2.4. Develop and provide informational resources to the community on events, programs, and facilities. This includes, but is not limited to, trail maps, website notifications, social media, and interactive maps.

Parks and Recreation

Parks and open space significantly contribute to local quality of life, community character, recreational opportunities, and tourism. Enhancing parks and recreation was the second highest priority for survey respondents when asked to describe the one thing they would change about St. George. When asked to describe their future vision for St. George, parks and recreation/family-friendly activities fell to the top of the list.

St. George Park System and Future Opportunities

In St. George there are currently spaces in town that provide a mix of opportunities for:

- » Active recreation: individual or team spaces that require facilities such as fields, etc.; and
- » Passive recreation: activities that do not require facilities and provide minimal environmental stress such as walking, fishing, etc.

When it comes to parks and recreation, there are standards that have been used for decades. For example, the National Parks and Recreation Association established a standard of 10 acres per 1,000 residents. Another standard found in the 2003 *Small Community Park and Recreation Standards*, favors 15.5 acres per 1,000 residents. The same publication has developed standards based on various recreational facility needs per capita. These standards, reflected in Table 2.4., should be considered in the context of the City of St. George who currently has 9-acres of parks for approximately 1,000 residents.

St. George Rec. Commission Ball Fields

Respondents of the community-wide survey had mixed views about the ball fields (Figure 2.20.). Some thought it was a great community asset while others wanted additional sport field facilities.

▼ **Figure 2.20. St. George Recreation Commission Ball Fields**



City Park

St. George's City Park is located just west of downtown and is often complementary to downtown community events. City Park offers areas to relax such as shaded benches, a playground, and community shelter. Respondents to the community-wide survey had often vaguely mentioned that City Park needed some updating while others listed specific improvements such as adding bathrooms and improving parking access to City Park.

Boggs Landing Boat Ramp

As mentioned in the Economic Development section of this chapter, St. George residents and visitors alike currently use the boat ramp to access the Kansas River, primarily for kayaking. Figures 2.21. and 2.22. explore possible opportunities for the area including some of the most requested amenities from the community-wide survey such as trails, riverfront recreation, a dog park, and community event space. It is important to note that these are conceptual illustrations. However, these illustrations do provide some ideas on how to celebrate St. George as a unique city, ways to spur economic growth, and host easily transportable developments with consideration of the floodplain.

► **Figure 2.21.**
St. George
Downtown
Update
 Anderson Knight
 Architects



► **Figure 2.22.**
St. George
Riverfront
Update
 Anderson Knight
 Architects



Community Events/Space

Community events are arguably one of residents' favorite and most desired activities according to the community-wide survey.

The Community Enrichment Team, in partnership with the Kansas PRIDE program through K-State Research and Extension, creates togetherness and community pride through special events and volunteering projects. This group should continue to receive support. Additionally in the long-term, the City may want to consider the addition of an indoor or outdoor community center for events such as community events, birthday parties, etc.

Trails

Though there currently are not any trails in St. George, there have been regional conversations about having a trail that connects Junction City to Wamego along the Kansas River. A river coalition that would spearhead efforts would be a valuable asset to St. George and the region. The efforts made by the coalition would aid in the long-term recreational needs of residents and the overall health of the region.

▼ Table 2.4. Park Standards

Small Community Parks and Recreation Standards, RPI Consulting, 2003

Facility Category	Park Facility Type	Population Served by 1 Facility	# of Facilities Needed per 1,000 Residents	Acres Required to Accommodate 1 Facility	Required per 1,000 residents
Sports Fields & Courts	Soccer/Multi-Use Field	1,050	0.95	2.21	2.1
	Ball Field (Baseball/Softball)	1,640	0.61	3.77	2.3
	Basketball Court	1,100	0.91	0.16	0.15
Outdoor Recreation	Fishing Accessible Shoreline (per mile)	3,150	0.35	3.64	1.16
	River put-in, take-out with boat ramp (per acre)	13,350	0.07	1.00	0.07
Leisure	Playgrounds (per 3,200 sf of fully developed area)	6,270	0.16	0.14	0.2
	Family Picnic Area	160	6.25	0.01	0.08
	Group Picnic Area (with shelter)	2,780	0.36	2.06	0.74
Other Facilities	Swimming Pool	8,250	0.34	0.34	0.04
	Outdoor Events Venue	2,380	0.42	3.19	1.34

Services and Infrastructure: Goals and Implementation Strategies

Goal 1:

Provide adequate, resilient services and infrastructure to meet the demand of residents and businesses.

- S 1.1. Require long-term financial maintenance plans for any new infrastructure when reviewing development plans.
- S 1.2. Continue to work with the local police, fire department, and Emergency Medical Services (EMS) to maintain quality service and equipment levels for the number of residents.
- S 1.3. Continue to expand and upgrade the water and sanitary sewer system in a manner guiding growth and redevelopment in a systematic and responsible manner.
- S 1.4. Encourage underground utilities in new developments and along prominent corridors.
- S 1.5. Expand and/or relocate City Hall for additional community meeting space.
- S 1.6. Improve communication between city residents and government staff and officials, both elected and appointed.
- S 1.7. Issue a community satisfaction survey every five years.

Services and Infrastructure

Community services and infrastructure support development, community investment, and overall quality of life. Current community services include the City government, police department, fire department, local schools, and utility providers. It is important to note that not all services fall under City control, therefore, inter-agency cooperation is crucial to achieve mutually beneficial goals.

Local Government

Located downtown, St. George City Hall houses essential city functions. At the time of this plan, the St. George City Council and Planning and Zoning Committee meet at Lighthouse Baptist Church which is a few blocks north of downtown. As St. George grows, additional space may be necessary to accommodate public meetings and City sta .

Public Safety

St. George Police Department

The St. George Police Department is located downtown. As the City grows and additional officers are needed, the City should monitor the need for additional space to accommodate the department in the CIP.

Pottawatomie County Fire District #10

Pottawatomie County St. George Rural Fire District 10 is located at US-24 and Vineyard Rd. The department is a Volunteer Fire Department serving St. George Township and Pottawatomie County.

Emergency Medical Services (EMS)

EMS provides emergency and non-emergency transports and transfers to local hospitals. Pottawatomie County provides EMS services to St. George. Typically the Wamego or Blue Township stations respond to residents in the area.

▼ *Figure 2.23. The Award-Winning St. George Elementary School*



Education

The City of St. George is served by the Rock Creek Unified School District (USD) 323. Rock Creek schools are known throughout the region for their quality schools. The current school facilities are nearing capacity and anticipate enrollment to increase. Existing projects include general maintenance and upkeep of the school facilities. In many communities throughout the country, there is minimal coordination between cities and school districts. The City of St. George should regularly communicate with Rock Creek in regard to new developments that may impact school enrollment.

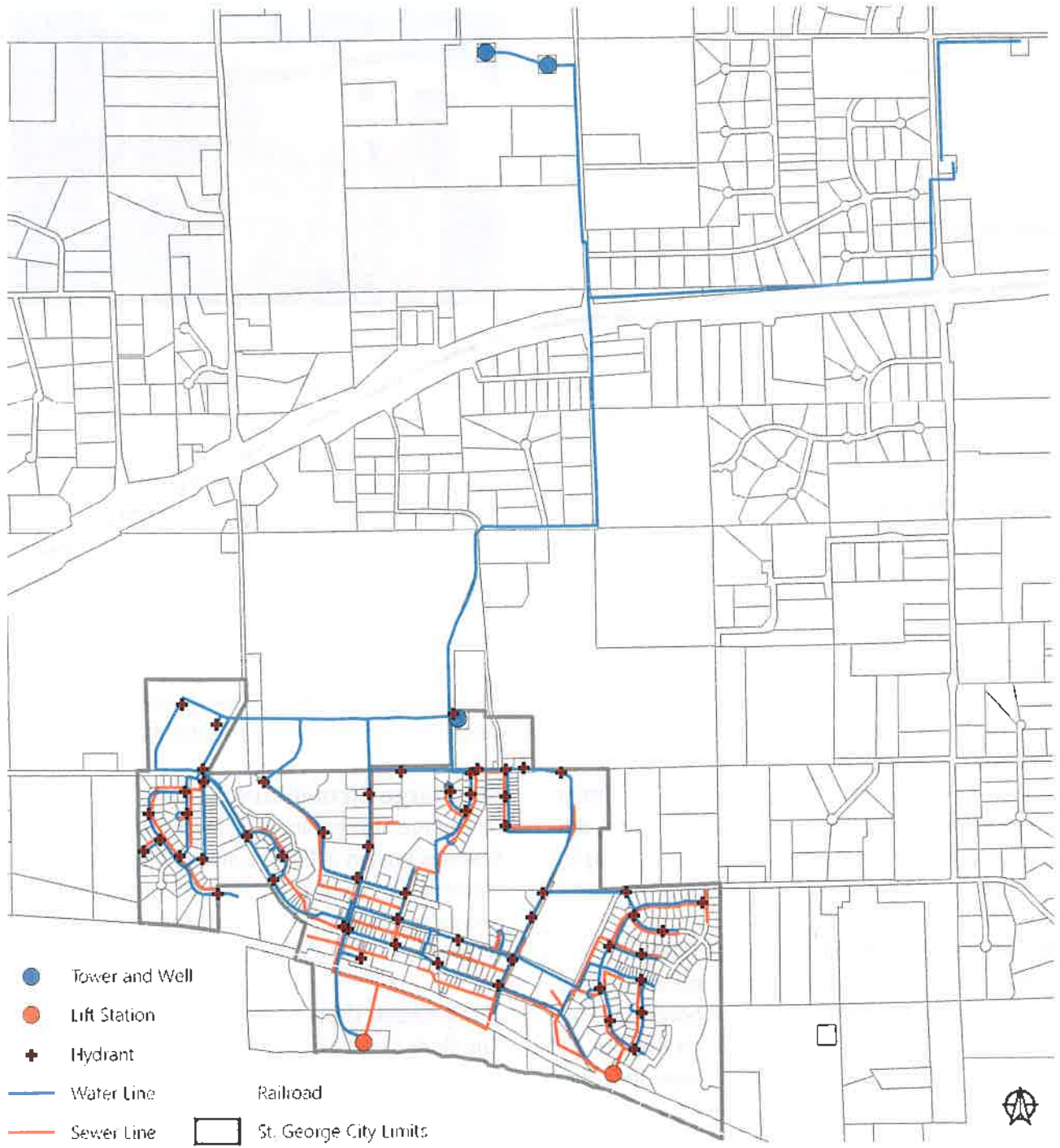
St. George Elementary School

St. George Elementary is an award-winning school that was built in 2008. The school originally served students from pre-k through 6th grade and now serves approximately 400 students pre-k through 4th grade.

Rock Creek Campus

The Rock Creek Campus, which includes a Middle and High School (grades 5-12) is located nine miles north of St. George Elementary.

▼ **Figure 2.24. Water and Sewer Systems**
February 2021



Public Infrastructure

Though public infrastructure was perceived primarily in a positive light in the community-wide survey, it is always important to understand community needs and perceptions of public services. A simple community satisfaction survey should be issued every five years, especially if new developments occur.

Private Infrastructure

Evergy provides power and lighting services for all areas within city limits. Natural gas is provided by Kansas Gas. WTC and Cox are the two communications providers within city limits. They serve both residential and commercial properties. Expansion of these services is driven by development and consumer need.





Plan Implementation

The 2040 St. George Comprehensive Plan serves as a guide for staff, officials, residents, and local stakeholders. This chapter includes an implementation matrix with specific partners, funding resources, and a timeline so that it may be used to find tangible ways to achieve the community's long-term vision.

Implementation Actions and Partners

Many comprehensive plans never meet their full potential due to lack of organization, resources, or political will. In order to make strides towards the community's long-term vision, the City of St. George should:

- » adopt this plan and use it regularly;
- » foster interagency collaboration and communication;
- » be transparent and maintain clear communication;
- » update this plan when needed; and
- » identify and pursue funding opportunities

Implementation Actions

- » **Zoning Regulations**
Updated zoning regulations that compliment the Future Land Use Map (Chapter 2). These can provide a direction for future growth.
- » **Subdivision Regulations**
Establish criteria for dividing land into building areas, utility areas, streets, and sidewalks.
- » **Capital Improvement Plan**
As mentioned in the Growth and Development section of Chapter 2, the City should establish an annual plan for programming community needs into a prioritization system and budget. This plan should cover utilities, transportation, parks and recreation, and city facilities.
- » **Plan Maintenance**
In order to maintain this comprehensive plan's viability, an annual and five-year review of this plan will allow for flexibility when responding to changes and community needs. The plan can also be amended if necessary.

Implementation Partners

To take this plan from paper to reality, collaboration and communication between the City of St. George and its partners is crucial.

- » **The City of St. George**

The City of St. George has a strong group of staff members and officials dedicated to the betterment of the community. City staff, Planning and Zoning Committee, City Council, and volunteer groups such as the Community Enrichment Team, and Marketing Committee, will be instrumental in ensuring this plan is successful. Based on the significant amount of investment in both time and money, these groups should be using and updating this plan regularly.

- » **Pottawatomie County**

Partnership and coordination with Pottawatomie County may include staff members, the Planning Commission, or Board of County Commissioners depending on the project. The County should be engaged regarding future development, economic development, and more.

- » **Pottawatomie County Economic Development Corporation (PCEDC)**

PCEDC provides financial investment to many private and public partners. They have made major contributions to industrial and business growth in Pottawatomie County. PCEDC funds the Classroom-to-Careers program and helped provide financial support for this plan.

- » **Rock Creek School District (USD 323)**

Throughout the United States, cities and school districts do not often coordinate. The City should work with USD 383 in regards to development

that may impact enrollment. On the other hand, the school district has several assets that the community could benefit from such as evening meeting spaces.

» **Flint Hills Regional Council (FHRC)**

FHRC was instrumental in facilitating the planning process to develop this comprehensive plan. FHRC serves as the administrator of the Flint Hills Economic Development District which is a valuable designation by the Economic Development Administration. This designation enables the FHRC to apply for invitation-only/non-competitive funding in support of the regional economic development plan serving seven counties, including the City of St. George and Pottawatomie County. FHRC is a non-profit organization that provides community planning, grant, and assistance to member jurisdictions.

» **Flint Hills Metropolitan Planning Organization (MPO)**

The MPO is the designated entity to provide regional transportation planning and programming services across portions of Geary, Pottawatomie, and Riley Counties. While the MPO does not have funding available, staff is available to assist with planning-related efforts which can be cost advantageous for the City.

» **Kansas State University (K-State)**

K-State is a land-grant, public research University committed to teaching and learning, research, and service. The K-State Research and Extension team provided St. George with a First Impressions presentation in October 2020. Their Kansas PRIDE Program currently supports the Community Enrichment Team in St. George.

» **Kansas Department of Transportation (KDOT)**

KDOT has a variety of resources or programs potentially available to implement transportation strategies. Collaboration with KDOT would be beneficial to the city regarding highway signage and corridor management.

» **Private Developers and Investors**

Several of the quality of life initiatives in this plan depend on private developers and investors. Professional developers should be recruited to develop and invest in specific development opportunities identified in this Comprehensive Plan.

» **Residents, Businesses, and Local Volunteers**

There are some goals and implementation strategies in this Comprehensive Plan that require the help of residents, businesses, and local volunteers. Residents, business owners, and local volunteers can participate in local committees, assist with community cleanup, and are able to hold officials accountable. The ultimate success of this plan remains in the dedication of these groups.

Potential Funding and Incentive Resources

The following section includes several sources of funding that could be used for implementing various Comprehensive Plan initiatives:

Economic Development

» **Community Development Program**

The Community Development Program through Federal Home Loan Bank Topeka is a special advance program. They provide wholesale loans (advances) priced below their regular rates to help members finance qualifying commercial loans, farm loans, and community and economic development initiatives. This favorable pricing, coupled with the availability of funds, in terms of four months to 30 years, helps lenders extend long-term, fixed rate credit for community development.

» **Network Kansas Programs**

Destination Bootcamp: for business owners who want to accelerate their learning curve, receive in-depth instruction, strategies, and specific tactics on how to become a dominant “Destination Business.”

Kansas Ice House Entrepreneurship Program: certificate program that develops entrepreneurial skills such as critical thinking, communication, problem solving, and other key assets.

Growing Rural Business: a program that provides practical, applied information and examples necessary for today’s rural communities. The Growing Rural Businesses Model is certificate program customized for rural businesses. Participants receive a comprehensive practical approach to conducting business along with the resources needed to succeed.

Economic Gardening Program: a program that provides technical assistance to second-stage businesses that have the intent and capacity to grow. This program has expert consulting services designed to increase revenue and create sustainable job growth. This program is widely utilized throughout Kansas.

» **Rural Business Development Grants**

U.S. Department of Agriculture Rural Business Development Grants may be used for small and emerging rural businesses. These grants may fund a broad array of activities which may include training and technical assistance, project planning, business counseling and training, market research, feasibility studies, professional or technical reports, and others.

Housing

» **Affordable Housing Program**

The Affordable Housing Program through Federal Home Loan Bank Topeka provides funds that are used to finance the purchase, construction, or rehabilitation of owner-occupied housing for low- or moderate-income households (with incomes at 80 percent or less of the area median income), and the purchase, construction, or rehabilitation of rental housing where at least 20 percent of the units are affordable for and occupied by very low-income households (with incomes at 50 percent or less of the area median income).

» **Community Housing Program**

Similar to the Community Development Program (listed under the Economic Development section), the Community Housing Program is another special advance program under the

Federal Home Loan Bank Topeka that provides funding for owner-occupied and rental housing under their Community Housing Program.

- » **Neighborhood Revitalization Program**
As mentioned in Chapter 2, over a dozen communities in Kansas have adopted a Neighborhood Revitalization Program and had positive results. These programs provide property owners a tax rebate to encourage the rehabilitation of existing properties. This often includes new construction, additions, and renovations. The Neighborhood Revitalization Act is discussed in detail in Kansas Statutes 12-17,114 through 12-17,120.
- » **Rural Housing Incentive District**
Rural Housing Incentive Districts, are a state appointed alternative to special taxes for infrastructure improvements. Rural Housing Incentive Districts must be approved but they allow a City to use tax dollars to reimburse developers for the cost of installing new infrastructure. These districts are eligible for residential uses only and can only be used for the addition of public infrastructure projects. The Kansas Rural Housing Incentive District Act is discussed in detail in Kansas Statutes 12-5241 through 12-5251 and the 2020 Supplement to the Kansas Administrative Regulations 12-5252 through 12-5258.

Transportation and Mobility

» **Safe Routes to School (SRTS)**

SRTS is a federal funding source administered by KDOT. The funding can be used to pay for the implementation of projects identified in a SRTS Plan, including preliminary engineering services.

» **Transportation Alternatives (TA)**

The TA Program is federally funded and administered by KDOT. The program provides funding for a variety of alternative transportation projects, including pedestrian and bicycle facilities; projects that enhance safety and mobility; improve the scenic or environmental, or archaeological assets; SRTS projects; and others. All selected projects are required to meet a minimum 20% local cash match.

Parks and Recreation

» **Citizens' Institute on Rural Design**

The Citizens' Institute on Rural Design is a National Endowment for the Arts leadership initiative in partnership with the Housing Assistance Council. They provide rural communities access to the resources and competitive funding to host community design workshops.

» **Rivers, Trails, and Conservation Assistance Program (Non-Monetary)**

A program provided by the U.S. National Park Service that supports community-led natural resource conservation and outdoor recreation projects across the nation. A national network of conservation and recreation planning professionals partner with community groups, non-profits, tribes, and state and local governments to design trails and parks, conserve and improve access to rivers, protect special places, and create recreation opportunities.

» **Community Facilities Direct Loan & Grant Program in Kansas**

This program provided by the U.S. Department of Agriculture, provides funding to develop essential community facilities in rural areas. An essential community facility is defined as a facility that provides an essential service to the local community for the orderly development of the community in a primarily rural area, and does not include private, commercial or business undertakings.

Services and Infrastructure

» **U.S. Department of Agriculture (USDA) Water and Environment Programs**

Loans, grants, and loan guarantees for drinking water, sanitary sewer, solid waste and storm drainage facilities in rural communities of 10,000 or less provided under the USDA. Water and Environment Programs also provides grants to non-profit organizations to provide technical assistance and training to help rural communities with their water, wastewater and solid waste challenges.

» **USDA Electric Programs**

Provided under USDA, Electric Programs provide funding to maintain, expand, upgrade and modernize rural electric infrastructure. The loans and loan guarantees finance the construction or improvement of electric distribution, transmission and generation facilities in rural areas. The Electric Program also provides funding to support demand-side management, energy efficiency and conservation programs, and on-and-off-grid renewable energy systems. Loans are made to cooperatives, corporations, states, territories, subdivisions, municipalities, utility districts and non-profit organizations.

Historic Preservation

» Historic Preservation Fund

Though historic preservation was not a major component of this plan, it doesn't mean that it is not important. The Historic Preservation Office administers Federal Historic Preservation Grants. These are for surveying and planning in historic areas. The City of St. George could potentially qualify. The survey grants would be used to determine the historic and architectural value of the area while the planning grants could be used to pursue designation on the State or National Register of Historic Places or to develop such things as architectural guidelines for rehabilitation projects.

Implementation Matrix

Abbreviations

City of St. George

- City Council City Council
- City Staff City Staff
- Enrichment Community Enrichment Team
- Marketing Marketing Committee
- P&Z Planning and Zoning

Local and Regional Partners

- MPO Flint Hills Metropolitan Planning Organization
- FHRC Flint Hills Regional Council
- KDOT Kansas Department of Transportation
- County Pottawatomie County
- PCEDC Pottawatomie County Economic Development Corporation
- USD 323 Rock Creek School District

Additional Partners

- Businesses Businesses
- Developers Private Developers and Investors
- Residents Residents
- Volunteers Volunteers

Potential Funding and Incentive Resources

- CIRD Citizens' Institute on Rural Design
- CFDL/G Community Facilities Direct Loan & Grant Program
- FHLB-T Federal Home Loan Bank Topeka FHLB Topeka
- NPS National Park Service (Non-Monetary)
- NRP Neighborhood Revitalization Program
- RHID Rural Housing Incentive District
- SRTS Safe Routes to School
- USDA U.S. Department of Agriculture

Please note: In the implementation matrix, if there is not a funding source identified, then the city would likely need to identify staff to complete the strategy, provide funding, or seek additional grant funding. Potential funding sources may likely change over time and Flint Hills Regional Council may be a resource to assist the City of St. George in identifying and seeking funding opportunities.

Growth and Development

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Growth and Development Goal 1: Manage population growth while supporting the preservation of a small-town quality of life.					
G 1.1.	Establish a capital improvement plan (CIP) and adopt capital spending strategies for transportation, city infrastructure, and community facilities. Update annually.	City Staff, P&Z, City Council			< 1 Year
G 1.2.	Adopt a requirement for a full unbiased fiscal impact analysis for all major development projects.	City Staff, City Council			1 to 5 Years
G 1.3.	Maintain current cost of service data to conduct a fiscal impact analysis to guide growth and development decisions.	City Council			Ongoing
G 1.4.	Promote commercial infill especially downtown. Encourage buildings to have higher lot coverages and attractive street frontages.	P&Z	PCEDC		1 to 5 Years/ Ongoing
G 1.5.	Promote contiguous development patterns that allow for more efficient and cost-effective provision of services.	P&Z, City Council			Ongoing
G 1.6.	Communicate with USD 323 in regard to new developments that may impact school enrollment.	City Staff, P&Z, City Council	USD 323		Ongoing
Growth and Development Goal 2: Within the City Limits, add wayfinding signage and community entryway improvements at strategic locations to highlight local assets.					
G 2.1.	Coordinate with Pottawatomie County on land use decisions within the 'Greater St. George' boundary.	City Staff, City Council, County			Ongoing
G 2.2.	Maximize available land within the city limits for further infill development opportunities in key activity areas including downtown, near the elementary school, and adjacent to other community assets.	P&Z, City Council	PCEDC		Ongoing
G 2.3.	Create directional signage along US-24 to St. George.	Marketing	KDOT		1 to 5 Years
G 2.4.	Within the City Limits, add wayfinding signage and community entryway improvements at strategic locations to highlight local assets.	Marketing			5 to 10 Years

Economic Development

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Economic Development Goal 1: Leverage St. George's strategic location and developable areas in its downtown and along the US-24 corridor to attract and retain businesses.					
E 1.1.	Conduct regular business outreach to determine if there are issues the City can assist with to help expand and retain local businesses.	City Staff, City Council	PCEDC		5 to 10 Years
E 1.2.	Seek partnerships that will help St. George attract new businesses.	City Staff	PCEDC		Ongoing
E 1.3.	Maximize available land within the city limits for development.	P&Z, City Council, Developers			Ongoing
E 1.4.	Utilize the Kansas River as an asset to increase community and economic activities.				5 to 10 Years
E 1.5.	Leverage the region's Animal Health Corridor designation.	City Staff, City Council	County, K-State		5 to 10 Years
E 1.6.	Explore the feasibility of establishing a benefit district.	City Staff, P&Z, City Council			5 to 10 Years
E 1.7.	Consider flexible space for a farmers market, food trucks, beer gardens, and other small vendors.	City Council, Enrichment	Businesses, Volunteers		5 to 10 Years
Economic Development Goal 2: Build external awareness of St. George.					
E 2.1.	Develop a marketing plan for St. George.	Marketing, City Council			1 to 5 Years
E 2.2.	Continue St. George's partnership with the region's Communities to Call Home marketing tool.	City Staff	FHRC		Ongoing

Economic Development Continued

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Economic Development Goal 3: Advance partnerships with local businesses and organizations.					
E 3.1.	Foster partnerships with economic development organizations interested in promoting St. George.	City Council	PCEDC, FHRC, County		Ongoing
E 3.2.	Partner with local resources to conduct a market analysis for both downtown and the corridor along US-24.	City Council	PCEDC, County		1 to 5 Years
E 3.3.	Continue to support the classroom-to-career program at St. George Elementary School.	PCEDC	USD 323, Businesses	PCEDC	Ongoing
E 3.4.	Participate in regional recovery and resiliency planning efforts.	City Staff, City Council, County	FHRC		Ongoing
E 3.5.	Promote information about entrepreneurial-related events, programs and networking opportunities.	Marketing	Businesses		Ongoing
E 3.6.	Participate in a regional infrastructure committee to assist in prioritizing investment in infrastructure to support economic development.	City Staff	County		Ongoing

Housing

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Housing Goal 1: Promote a diverse housing inventory to accommodate St. George's growing population while maintaining a small-town character.					
H 1.1.	Promote and provide a mix of housing types to accommodate a range of incomes, ages, and families.	City Staff, P&Z, City Council, Developers		FHLB-T	5 to 10 Years/ Ongoing
H 1.2.	Establish a Rural Housing Incentive District to provide incentives for the creation of new housing within the city limits.	P&Z, City Council	Developers		5 to 10 Years/ Ongoing
H 1.3.	Work with current and future downtown building owners to find ways to develop upper story housing throughout downtown.	P&Z, City Council	Developers, Businesses	RHID	10 to 20 Years
Housing Goal 2: Address community cleanup and rehabilitation.					
H 2.1.	Host an annual neighborhood cleanup event.	City Council, Enrichment	Volunteers		1 to 5 Years/ Ongoing
H 2.2.	Focus on and prioritize the rehabilitation of highly visible areas and enforcement of codes.	City Staff, P&Z			1 to 5 Years
H 2.3.	Undertake a Neighborhood Revitalization Program to encourage property improvements and/or new construction.	P&Z, City Council	Developers, Residents	NRP, FHLB-T	1 to 5 Years/ Ongoing
H 2.4.	Identify housing stock in need of rehabilitation or demolition as part of a Housing Needs Assessment completed every five years.	City Council, Developers	FHRC	FHLB T	Ongoing
H 2.5.	Explore incentive programs to encourage property owners to make improvements to their residential properties.	City Staff, Marketing, City Council		NRP	1 to 5 Years

Transportation and Mobility

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Transportation and Mobility Goal 1: Provide a transportation system that prioritizes a safe and connected network for all modes of travel.					
T 1.1.	Work alongside the Flint Hills Metropolitan Planning Organization to adopt a Safe Routes to School Plan. This effort should identify sidewalk gaps and existing sidewalks needing maintenance.	City Staff	USD 323, MPO	SRTS	< 1 Year
T 1.2.	Ensure sidewalks are part of all new developments and are well-connected to existing development.	P&Z, City Council	Developers, MPO		Ongoing
T 1.3.	Conduct a parking study to understand the demands and current supply of parking around the downtown area.	City Council	MPO		5 to 10 Years
T 1.4.	Continue to engage with the US-24 Corridor Management Plan as a key stakeholder.	City Staff, County	KDOT, MPO		Ongoing
T 1.5.	Conduct a feasibility study for a bridge connection across the Kansas River to Zeandale.	City Council	County		10 to 20 Years
Transportation and Mobility Goal 2: Invest in the preservation and maintenance of the existing transportation infrastructure.					
T 2.1.	Identify long-term costs associated with preserving and maintaining the existing transportation system.	City Staff	MPO		Ongoing
T 2.2.	Conduct preventative maintenance on the local road network and schedule reconstruction for locations with deteriorated conditions.	City Staff			Ongoing

Parks and Recreation

Implementation Strategy		Responsible Entity	Partners	Funding Source	Timeline
Parks and Recreation Goal 1: Support parks and recreation facilities that are well-maintained and accommodate a range of recreational activities.					
P 1.1.	Fund and develop a parks, recreation, and trails plan. Examine the possible opportunities, routes, and construction costs for options such as a splash pad, pool, dog park, and more.	City Staff, City Council	MPO, FHRC		1 to 5 Years
P 1.2.	Actively partner with local businesses, regional and/or state partners, and other organizations to support river-based outdoor recreation opportunities.	City Staff	FHRC, NPS, CIRD, Businesses		Ongoing
P 1.3.	Explore opportunities for a new community event space that will enhance the appeal of St. George for events. Ensure that this space is connected to downtown and other key destinations.	Enrichment			5 to 10 Years
P 1.4.	Ensure the City has appropriate funding and staffing levels to maintain parks and recreation facilities.	City Staff, City Council			Ongoing
Parks and Recreation Goal 2: Put on and communicate recreational programming and events to provide opportunities for the community to be physically and socially active.					
P 2.1.	Maintain the Community Enrichment Team which focuses on the planning of new and existing events and festivals to generate economic and social activity.	City Council, Enrichment	Kansas PRIDE		
P 2.2.	Work with Unified School District (USD) 323 to coordinate events or the public use of space at St. George Elementary.	City Staff	USD 323		
P 2.3.	Clearly communicate recreational opportunities in St. George through the City website.	City Staff, Marketing			
P 2.4.	Develop and provide informational resources to the community on events, programs, and facilities. This includes, but is not limited to, trail maps, website notifications, social media, and interactive maps.	City Staff, Marketing			

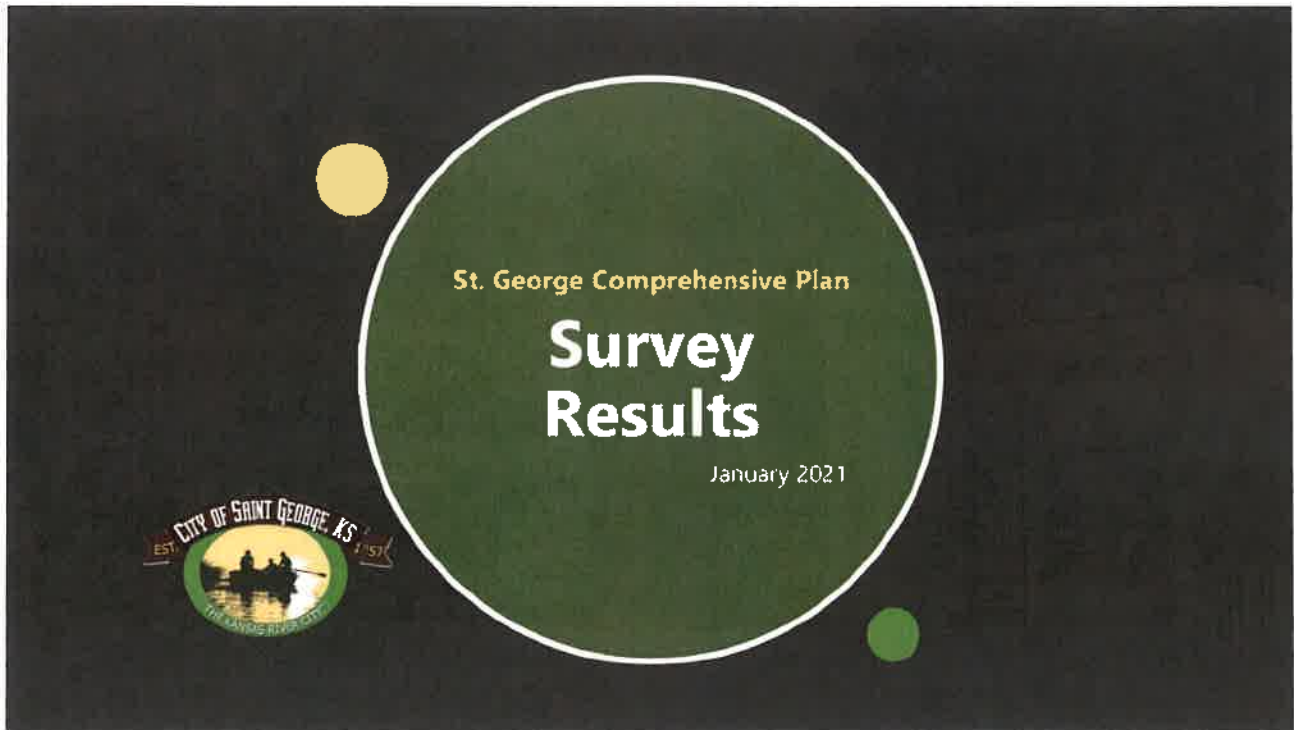
Services and Infrastructure

Implementation Strategy	Responsible Entity	Partners	Funding Source	Timeline
Services and Infrastructure Goal 1: Provide adequate, resilient services and infrastructure to meet the demand of residents and businesses.				
S 1.1. Require long-term financial maintenance plans for any new infrastructure when reviewing development plans.	P&Z, City Council			1 to 5 Years/ Ongoing
S 1.2. Continue to work with the local police, fire department, and Emergency Medical Services (EMS) to maintain quality service and equipment levels for the number of residents.	City Staff, City Council, County	First Responders		Ongoing
S 1.3. Continue to expand and upgrade the water and sanitary sewer system in a manner guiding growth and redevelopment in a systematic and responsible manner.	City Staff, City Council			Ongoing
S 1.4. Encourage underground utilities in new developments and along prominent corridors.	City Staff, P&Z, City Council			Ongoing
S 1.5. Expand and/or relocate City Hall for additional community meeting space.	City Staff, City Council		CFDL/G	5 to 10 Years
S 1.6. Improve communication between city residents and government staff and officials, both elected and appointed.	City Staff, Marketing, City Council			Ongoing
S 1.7. Issue a community satisfaction survey every five years.	City Staff, Marketing, City Council			1 to 5 Years/ Ongoing



Appendix A: Community Engagement Summary

Community Survey Results.....	A-04
Virtual Public Feedback Period: Summary.....	A-35
Virtual Public Feedback Period: 1-Page Information Sheets.....	A-50

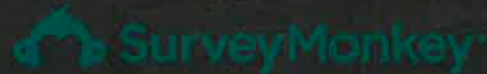


Community Needs Assessment (Survey) Results

131

survey respondents

(Oct 17, 2021 – Jan 15, 2022)



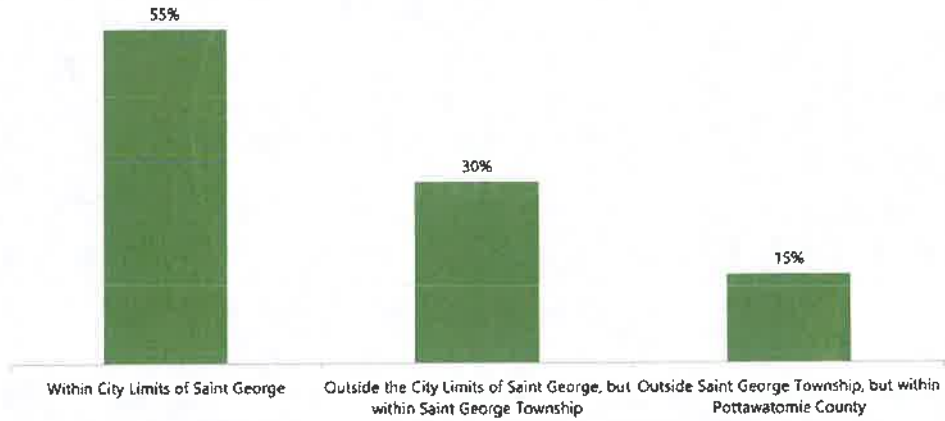
Topics of focus:

- Land Use
- Housing
- Transportation
- Economic Development
- Urban Design & Historic Preservation
- Parks & Open Space
- Services & Infrastructure
- Survey respondent demographics



Q1: I am a resident:

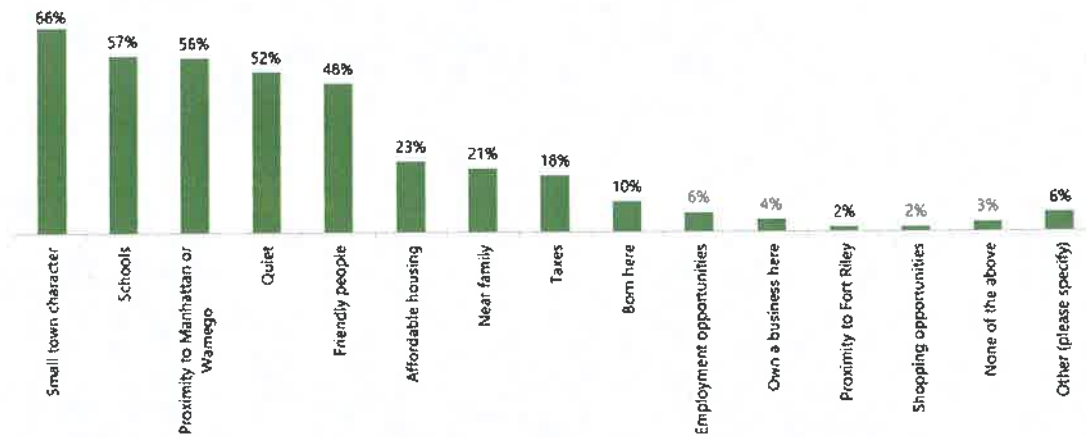
Respondents: 130



3

Q2: I live/work in Saint George because:

Respondents: 131



4

Q2: I live/work in Saint George because:

Respondents: 67

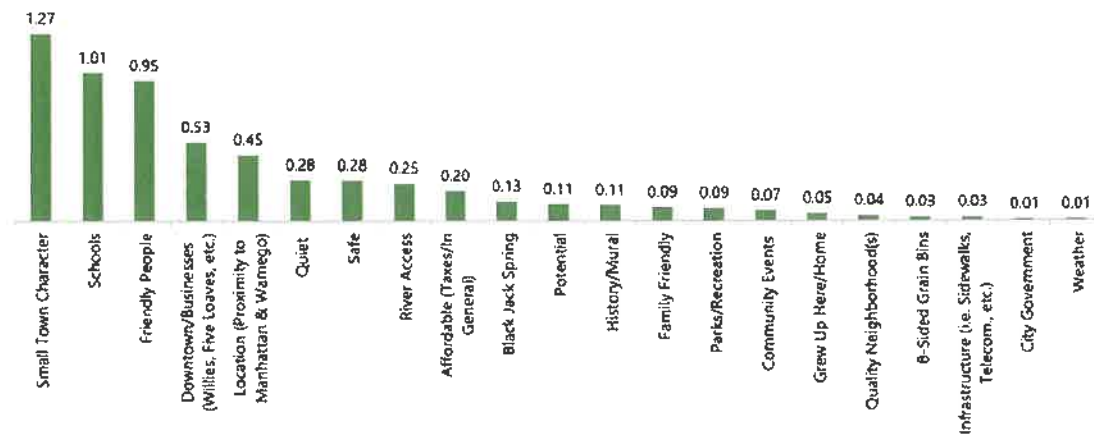
Other (Please Specify):

- "It's home."
- "The bar has great tasting food"
- "Husband from here"
- "I love how people are good to each other here."
- "Wanted to build a house on some acreage located on paved roads"
- "Married a local farmer"
- "Retirement"
- "I lived in St George for 25 years"

5

Q3: What are the THREE Most Special Things About Saint George? (Summary of Responses – Weighted Average)

Respondents: 117

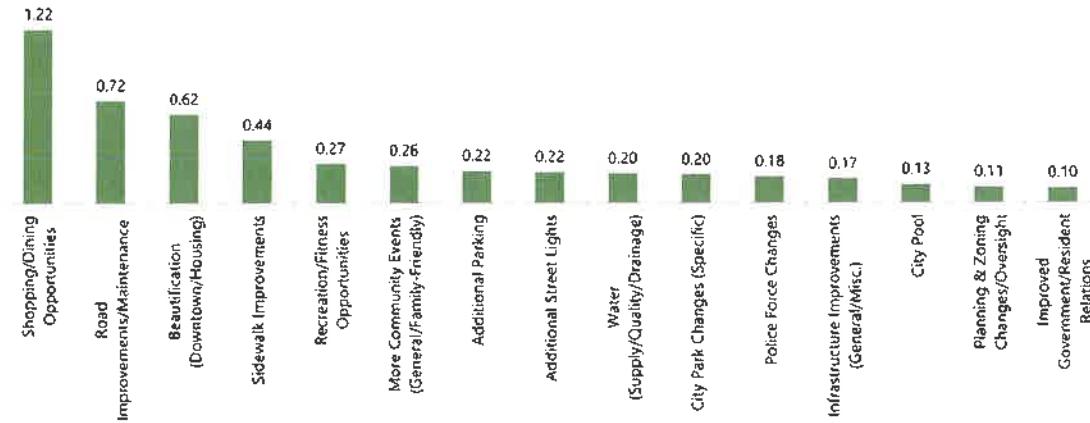


Please Note: Individual responses can be found in the next section of this report

6

Q4a: What are THREE improvements that are needed? (Summary of Responses (1-15) – Weighted Average)

Respondents: 118



Please Note: Individual responses can be found in the data section of this report.

7

Q4b: What are THREE improvements that are needed? (Summary of Responses (16-30) – Weighted Average)

Respondents: 118

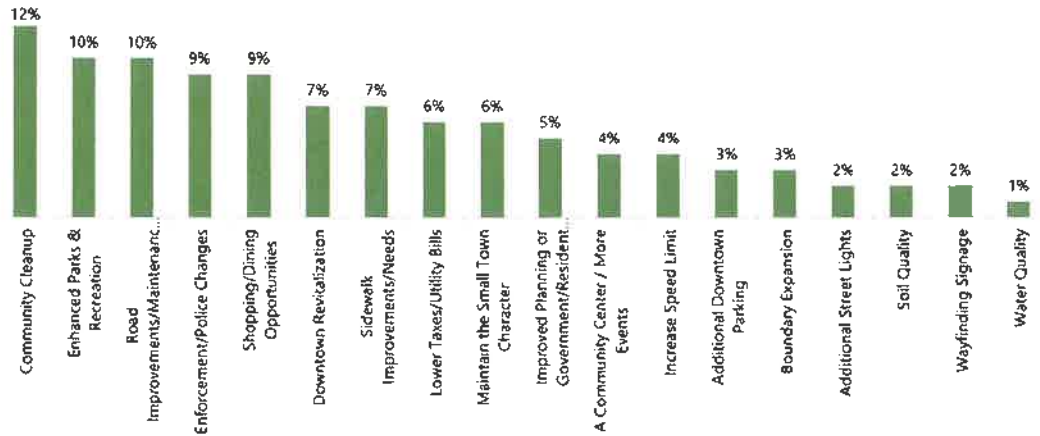


Please Note: Individual responses can be found in the data section of this report.

8

Q5: If you had the ability to change ONE thing, what would it be?

Respondents: 103

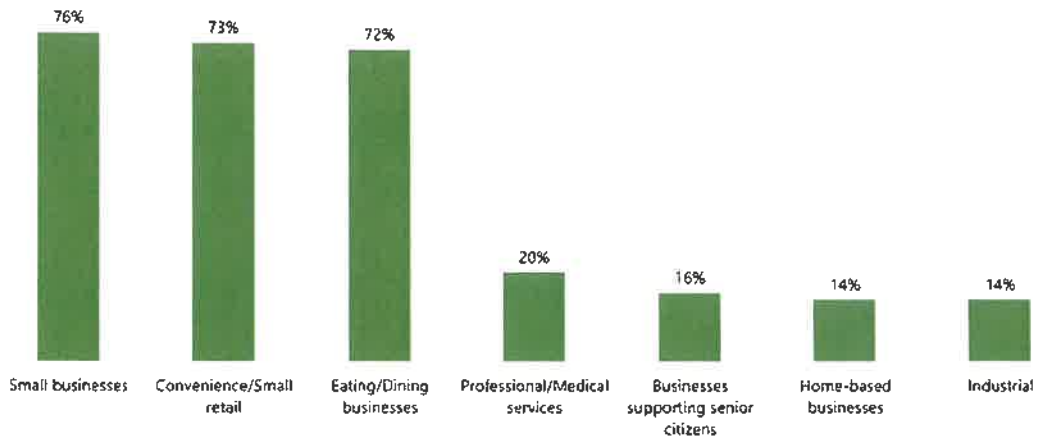


Please Note: individual responses can be found in the next section of this report

9

Q6: If Saint George continues to grow, what type of businesses would you like to see come to Saint George?

Respondents: 127



10

Q6: If Saint George continues to grow, what type of businesses would you like to see come to Saint George?

Respondents: 127

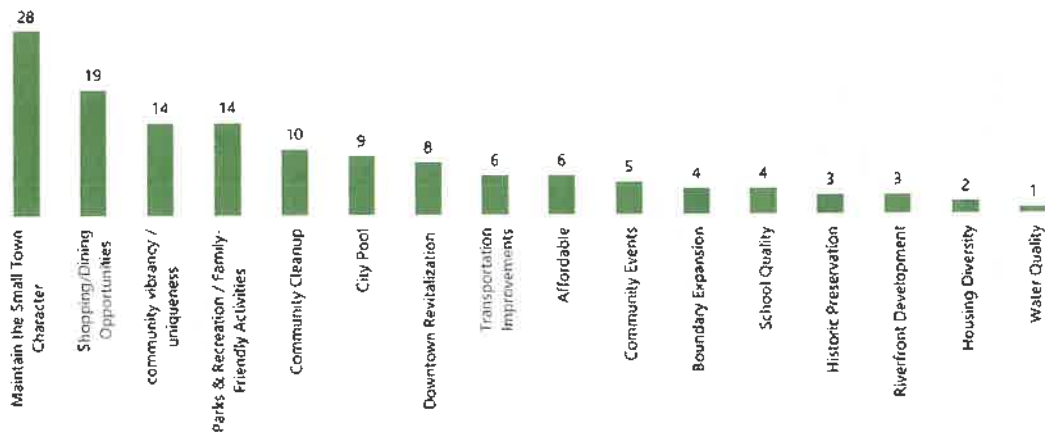
Other (Please Specify):

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Grocery store 2. Maybe a emerg care room. So people don't have to go to Wamego and Manhattan for emergency care. 3. Business owners besides James 4. Transportation linking to Manhattan and Wamego 5. Anything is better than what we have right now, something that isn't run by the same people. But this will never happen because it seems the city caters to only one business person. 6. Collegiate/School run/based daycare 7. Starbucks on corner of flush and 24 8. All the above are critical for the long-term success of our community 9. Health & wellness (gyms) | <ol style="list-style-type: none"> 10. Don't know if there is property to expans?? 11. Grocery 12. Entertainment/recreational 13. Up to private developers 14. Swimming pool 15. Recreational 16. Bring back the old general store 17. Please put a salon in for nails and hair. Please. 18. Small industrial, less than 50 employee |
|--|---|

11

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (Combined)

Respondents: 74

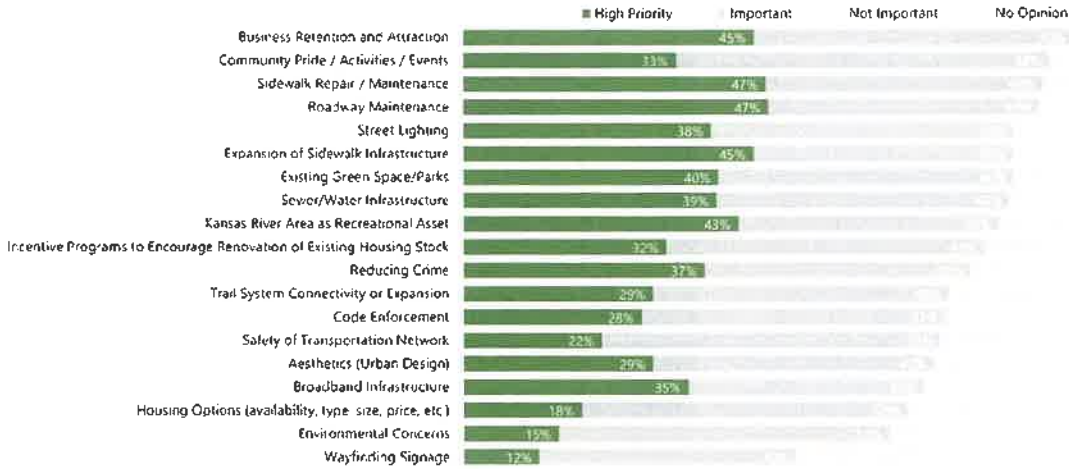


Please Note: Individual responses can be found in the next section of this report.

12

Q8: From your perspective, how important is it for the community to work to improve?

Respondents: 131



13

Q8: From your perspective, how important is it for the community to work to improve?

Respondents: 131

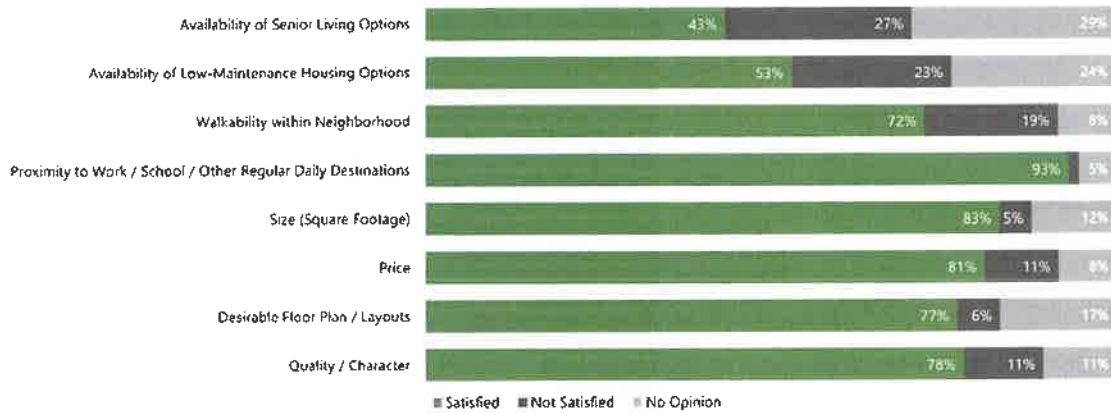
Other (Please Specify):

1. It would be nice if the Police department was more friendly to and aware of the residents that live in the original part of the City.
2. Anything to provide safer bike/walk/run environment to get people off of Military Trail!!
3. Safety of HWY 24 access.
4. requiring knowledge and follow up of city workers/council/mayor
5. Education

14

Q9: How satisfied are you with housing in Saint George?

Respondents: 131



15

Q9: How satisfied are you with housing in Saint George?

Respondents: 131

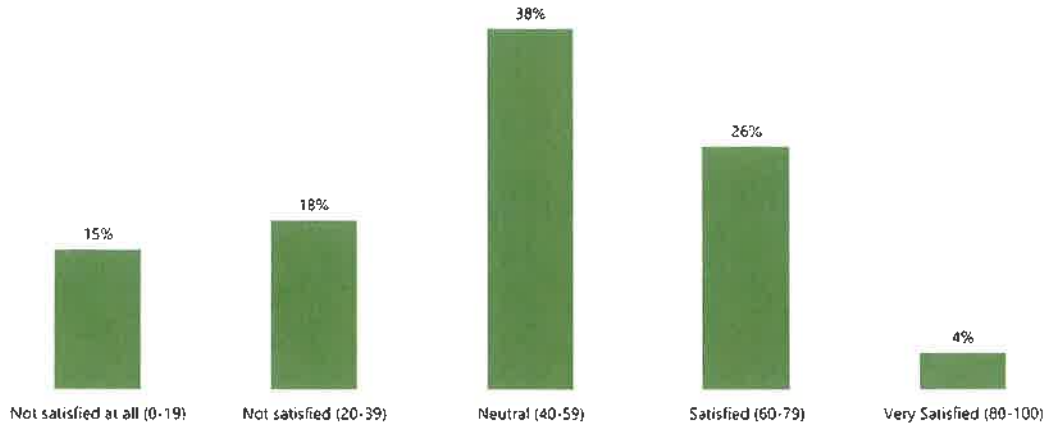
Other (Please Specify):

1. You need street lighting esp in the Snyder edition.
2. Houses r too close to each other
3. There are different areas of the town, this is a difficult section to answer
4. I live on acreage and do not feel qualified to answer those questions
5. Our community is a young one. I am an older resident. I am hoping I don't have to leave here when it's time for me to move into a smaller home. Right now I'm thinking I'll have to move to Wamego as I'm not seeing anything I'd want to live in that is smaller in St. George

16

Q10: How satisfied are you with parks and green space within Saint George? (0 is low & 100 is high)

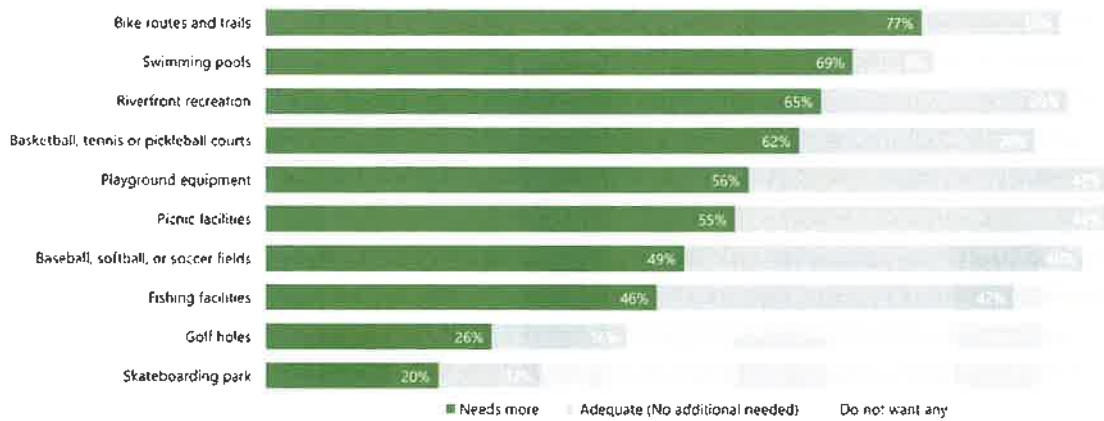
Respondents: 129



17

Q11: I would support the following on public land/parks:

Respondents: 127



18

Q11: I would support the following on public land/parks:

Respondents: 127

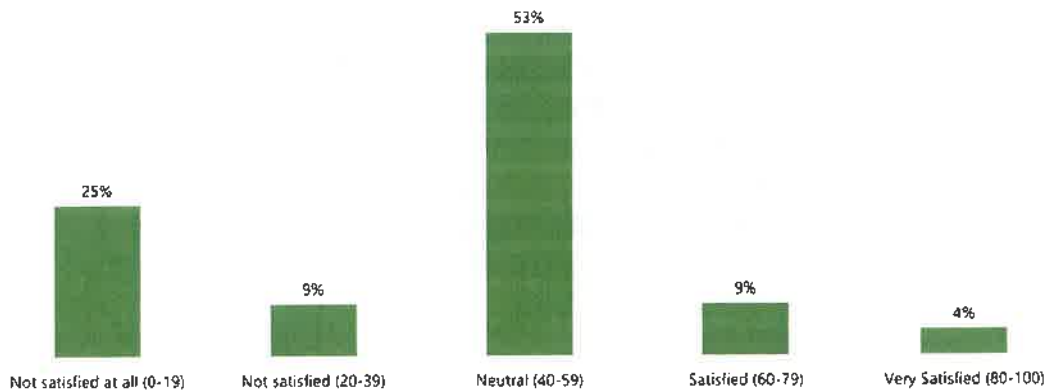
Other (Please Specify):

1. NO SPORTS COMPLEXES, especially NO GOLF
2. Our city park really needs some TLC...
3. I would hate to see the City spend any resources on public land and parks before working on making downtown and the original town more welcoming and habitable.
4. Dog park
5. Need a large dog park
6. a dog park

19

Q12: From your perspective, how safe do you feel using the transportation network within Saint George? (0 is low & 100 is high)

Respondents: 116



20

Q13: Are there any safety concerns that you have regarding the current transportation network? (1 of 3)

Respondents: 55 answered | 13 no

Responses

- 1 There needs to be a cross walk signal at the corner of Snyder and Military Trail, and Blackjack and Military Trail. Tons of foot traffic there for school.
- 2 Not enough sidewalks and a lot of blocked/unsafe views from side streets and alleys.
- 3 Too many vehicles parking on side streets and barely enough room for one vehicle to pass.
- 4 I've never walked in Saint George. I've only driven through it to see my in-laws and gone to the Post office.
- 5 Poor lighting
- 6 Chapman Road near Riverview Hills addition is in poor condition, and has poor sight because of trees along the road. Pedestrian and bicycle traffic needs a space across Blood Creek. Sidewalks throughout town are in terrible condition. Runners are forced to use the street.
- 7 no pressing concerns but definitely see speeding when cars come into town - specifically at crosswalk by the school.
- 8 A lot of u turns at main and grant street
- 9 People drive much too fast on streets that are not regularly patrolled by the city cops (i.e. any street that isn't First Street), which makes walking, biking, or any other non-car transportation more dangerous.
- 10 We need to bring awareness to crosswalk laws. So many people blow thru or roll thru stop signs and don't look for pedestrians
- 11 Flush road needs serious attention. Intersection of 24 and Flush
- 12 No sidewalks in some major areas like between Chapman and Jackson.
- 13 the bar needs to make parking in the back as people cant even park at the post office to get their mail
- 14 Lack of sidewalks or rough sidewalks makes it hard. There are also some aggressive dogs that bark at you while you're walking along the main streets
- 15 Flush and Hwy 24 are a major concern
- 16 Streets are horrible
- 17 Joggers
- 18 Need to keep trees trimmed and speed limit signs visible, maybe a few more of them
- 19 People speeding through the 20 mph limits and not getting over for walkers.
- 20 The city lacks sidewalks especially in the Prairie Meadow area of town and on Chapman Road. Any new housing developments MUST have sidewalks.

21

Q13: Are there any safety concerns that you have regarding the current transportation network? (2 of 3)

Respondents: 55 answered | 13 no

Responses

- 21 Sidewalks needed
- 22 Speeding around the curve by the grade school
- 23 Better or actual sidewalks for kids on the east side of the city to have a safe way to walk/bike to school from all the way on the east side - Dalton Gulch Road/Chapman Road.
- 24 Infrastructure needs significant attention
- 25 We don't even have sidewalks in our neighborhood to be able to walk to downtown
- 26 Speeding
- 27 Lack of sidewalk access to downtown from east neighborhood, Neighborhoods need to restrict parking to one side of street in order to increase ease of transport. Neighborhoods that dont have them need sidewalks to decrease people in road
- 28 Blackjack Road is so narrow you can't safely walk or run down it
- 29 Grant Street seems to get crowded with vehicles parking on both sides when frequently visiting local establishments
- 30 No safety concerns at this time
- 31 no sidewalks where housing has many kids
- 32 I think around the school needs some more work at the intersection to keep the kids safe.
- 33 EB hwy 24 and Black Jack. Dip to Snyder neighborhood. No shoulder or trail in Military Trail
- 34 cars in school zone
- 35 No side walks on many streets.
- 36 They are good
- 37 With the expanding communities around Saint George, there are many people that are walking/running/biking on the roads because there is not enough sidewalks/trails and the side of the road is dangerous to walk on. Recreational trails/sidewalks into and around town should be a priority for safety.
- 38 Highway 24 and Flush needs a bridge. Blackjack, Franklin, Rockingham and Vineyard needs some safe mitigation onto Highway 24. It's already a problem area and will get exponentially worse as the Highway 24 corridor further develops.

22

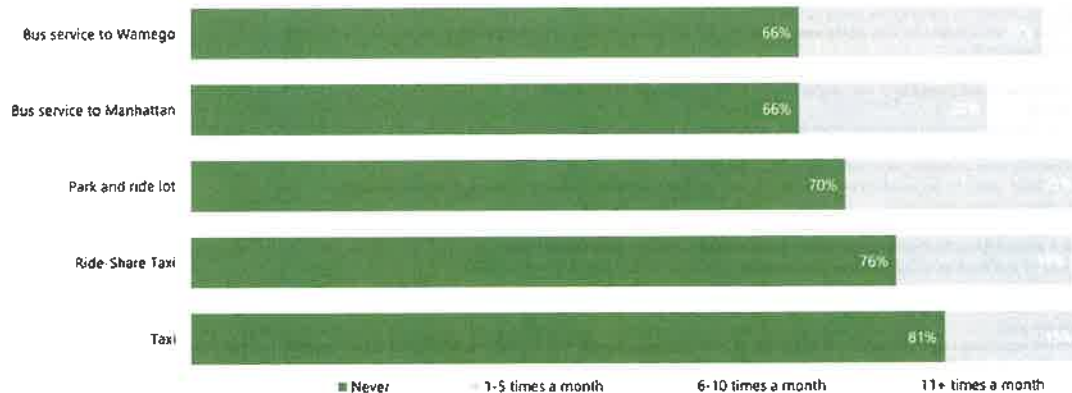
Q13: Are there any safety concerns that you have regarding the current transportation network? (3 of 3)

Respondents: 55 answered | 13 no

- # Responses
- 39 Don't let the big push for more parking downtown interfere with safety ie fine of sight at intersections and crosswalks.
 - 40 2nd st sucks to drive on
 - 41 Maybe have another person or give them a bigger flashing sign for the people that hold signs for children using crosswalk leaving and coming to school
 - 42 Thankfully there isn't much traffic, but it would be nice to have more sidewalks. I would like to be able to walk further down military Trail Road and feel safe, but with no sidewalk, I worry about getting hit.
 - 43 Need street lights Too many children around Do not want what happened at the end of November happen again
 - 44 Sidewalks road repairs and curbs
 - 45 Wildcat way is tough to see incoming traffic from the right
 - 46 I feel very safe crossing the streets. I always look both ways before I cross the road
 - 47 Sidewalk structures in 6th street
 - 48 Lack of accessible sidewalks, especially on Main Street and in neighborhoods. Always people running/walking/biking in the road.
 - 49 24 and flush with the addition of the new Daras
 - 50 Better marking and signage might be beneficial. Enforcement of existing laws. Improvement of lighting and sidewalk/path quality
 - 51 Sidewalks are important for families and children. There aren't any near our housing and the newer developments are filling up which causes busier streets
 - 52 As city expands, and it will you need to make more sidewalks connecting things to make the city more walkable
 - 53 need crosswalks marked better and more sidewalks.
 - 54 Need more streetlight!
 - 55 I have contacted ATA bus many times to see if I could use the system from St. George and I could never get a response. I finally gave up and was disappointed with that possibility.

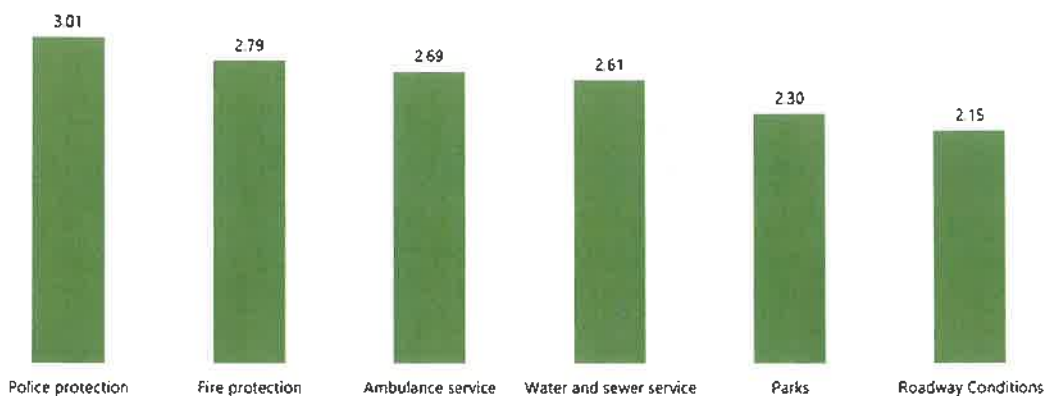
Q14: Would you like to see the following types of transportation provided in the City? If so, how often would you use them?

Respondents: 119



Q15: How would you rate the following?

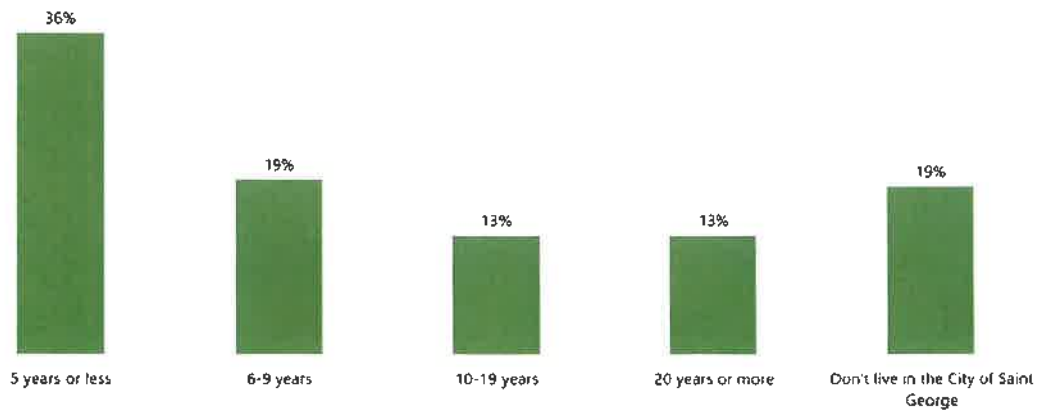
Weighted Average | Respondents: 129



25

Q16: How long have you lived in the City of Saint George?

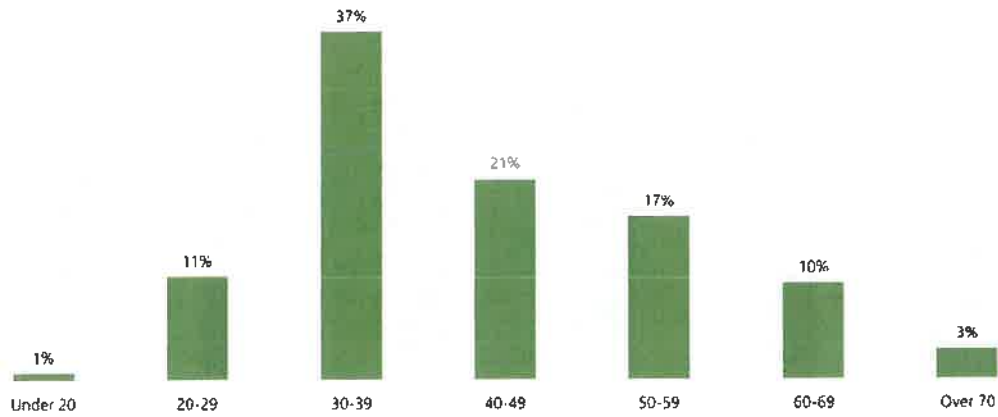
Respondents: 129



26

Q17: What is your age?

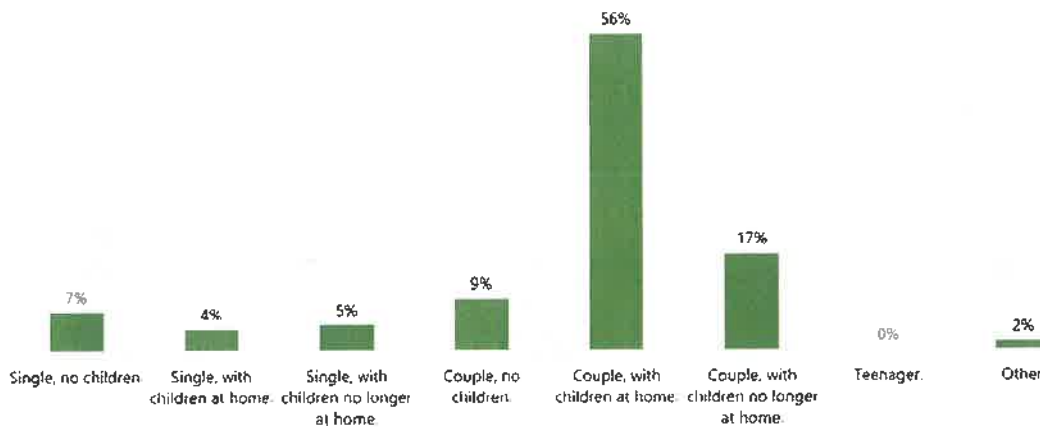
Respondents: 128



27

Q18: What is your family status?

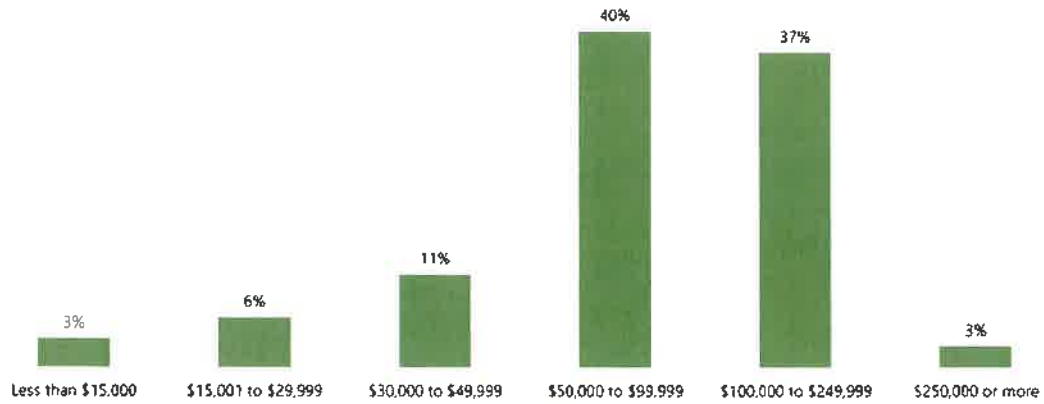
Respondents: 128



28

Q19: What is your approximate annual gross income?

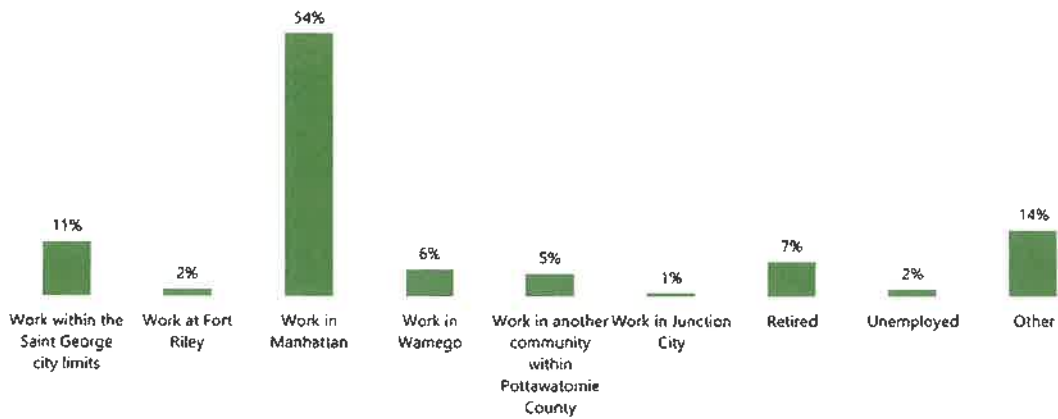
Respondents: 118



29

Q20: Where do you work?

Respondents: 125



30

Q20: Where do you work?

Respondents: 125

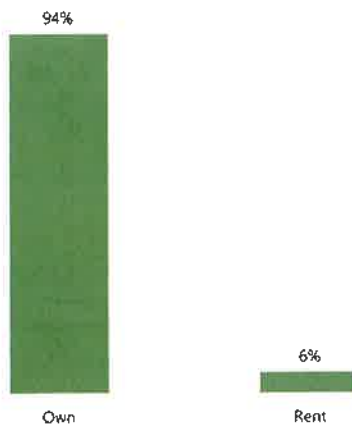
Other (Please Specify):

- Self employed
- I work in Manhattan and topeka
- Work remotely for company in KC
- St George township, not within city limits
- within the township of St George
- husband works in Manhattan
- Work from home in St. George
- Topeka
- Work at home
- Commute to Alma
- Work from home for the state
- semi-retired, self-employed working from home
- Stay at home mom
- Husband works in manhattan

31

Q21: Do you own or rent your residence?

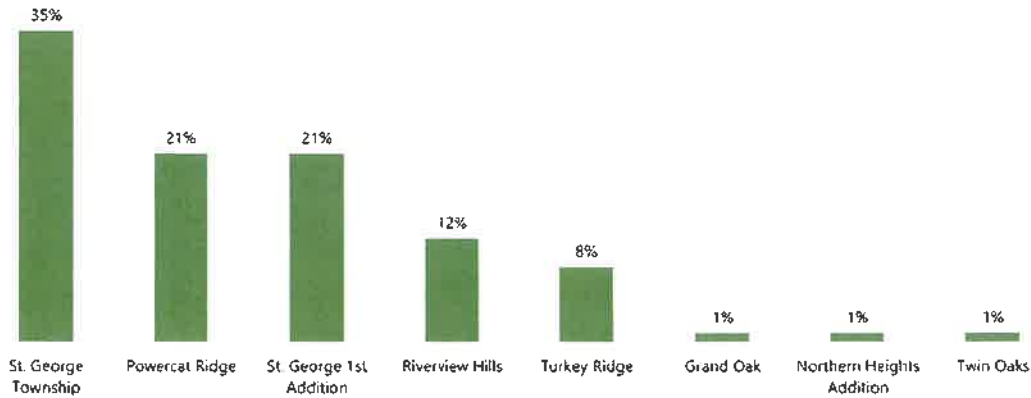
Respondents: 127



32

Q22: Please list your address or street/block in which you live to better understand your area/neighborhood:

Respondents: 95



33

Q23: Do you have any other comments, questions, or concerns? (1 of 3)

Respondents: 29

Responses

- 1 I have a major concern that this survey was only available online with no announcements to residents about the survey in the City "newsletter" or in local papers. I believe this survey was targeted to the newer residents that have no plan on making the City of St. George their permanent residence. Communication between City government and the residents of the City are nonexistent with the government refusing to provide information to residents in a timely and efficient manner and this survey is proof of that. I also find it odd that in order to keep up with how this information is used contact information is requested, it should be provided to local news outlets and the City "newsletter"
- 2 Not real sure why this survey is being done? Because everyone knows that nothing is going to change from people filling it out. Speaking of street or road repair, when was the last time the East side of second street and Northern Heights Circle was redone? I don't mean cheaply, with chip and seal that just washed off with the first heavy rain, I'm talking done right by being milled and re-black topped? If the city would take the time to do this stuff right the first time and stop wasting money on do things cheaply you might save a little more.
- 3 I am not pleased with the city cops. They only patrol the school zone and parts of first street while cars fly up and down the other streets going too fast. They are not friendly or welcoming when you see them while out and about. They are unnecessarily aggressive, or accusatory. They act like big city cops instead of small town cops. And for as many of them as we have, I rarely see them except during the morning and evening rush hours.
- 4 I hope st george turns stuff around as all they are known for right now is drugs and a bar.
- 5 Water bill arrives late every month, no time to mail a check back in without late fees. Due date needs changed.
- 6 24 hour police protection would be nice, if that is possible, sometimes the wait for the sheriff is too long.
- 7 It would be nice to have 24 hour police protection at the local level instead of having to rely on the Sheriff's Department to respond to our needs when a local police officer isn't on duty. PLEASE ANNEX!! The sustainability of Saint George depends on it! If you don't do it Warrego of Manhattan eventually will and that will effectively snuff out our city.
- 8 My neighbors and I have major water drainage issues caused by new construction of my home and more in my cul de sac.
- 9 Parking needed to attract more foot traffic to downtown and businesses. Need to keep city hall in original downtown area to keep downtown alive and people coming to our community to shop, pay bills use the post office, etc.
- 10 We desperately need recreation options, parks, pools, sports.
- 11 I'm excited for what the future holds for St. George and if development is done effectively we could have a boisterous, small town community.

34

Q23: Do you have any other comments, questions, or concerns? (2 of 3)

Respondents: 29

Responses

- 12 I want the best for Saint George. It has struggled to transform into the city it could become. My opinion is to specialize in different fields that nearby city's don't have. I love the fact the city has a nursing home located right outside of city limits. Try to make Saint George more inviting. Add safer and better streets to enter St. George. Expand roads so they have plenty room to park on street (specifically new housing development) charge less than Manhattan so people want to move to St. George to save money. I think a better Saint George layout is needed when adding new houses. They get so cramped up together that it's starting to become like Wamego and Manhattan. With how big Saint George is why are new houses being built so close together? Just my personal opinion though. I think adding a couple more restaurants and a convenience store would help keep people local. Though it will be hard since the cost always seems to be higher. Maybe a business like a dollar general? It would be awesome if a company would build a big plant in Saint George so it can provide the town with a lot of jobs. I understand that most of these will be hard to accomplish but I hope some of this information can be used to improve Saint George. I don't know about today's leaders but I know of a lot of leaders in the past used Saint George to fill their own pockets and use it for conflict of interest. I hope that moving forward the leaders and council work for the people.
- 13 Keeping too many businesses and small housing developments off 24 is a high priority. I don't want Wamego to Manhattan be one city in 20 years.
- 14 I hope that the Willbanks have been contacted and are recognized as a central stakeholder in the comprehensive plan.
- 15 Street lights please
- 16 I do not think we should allow more homes to be built without specials attached to pay for the sewer/water needs that go along with the extra housing. The water/sewer rates are too high due to the additional housing, and the reserves are not high enough to take care of the housing we have.
- 17 It really would be nice to have a police horse. Maybe even two of them.
- 18 People not wearing masks or social distancing at local establishments. I refuse to support them.
- 19 Water and sewer costs are way too high! Instead of finding other elective projects (city pool), be more fiscally responsible and improve roads, drainage, and sidewalks / infrastructure in original part of town.
- 20 Thank you for doing the survey. I do hope the response is good. It is important for careful thoughtful future development.
- 21 1) Place community event(s) signage above 1st, much like how there is currently garland and lights. 2) Solar powered street lights in new construction neighborhoods. 3) Promote and/or tie-in the ride share service with preventing drunk driving. 4) Is there a St. George Pride? 5) Monthly newsletter of community/business going's on.

35

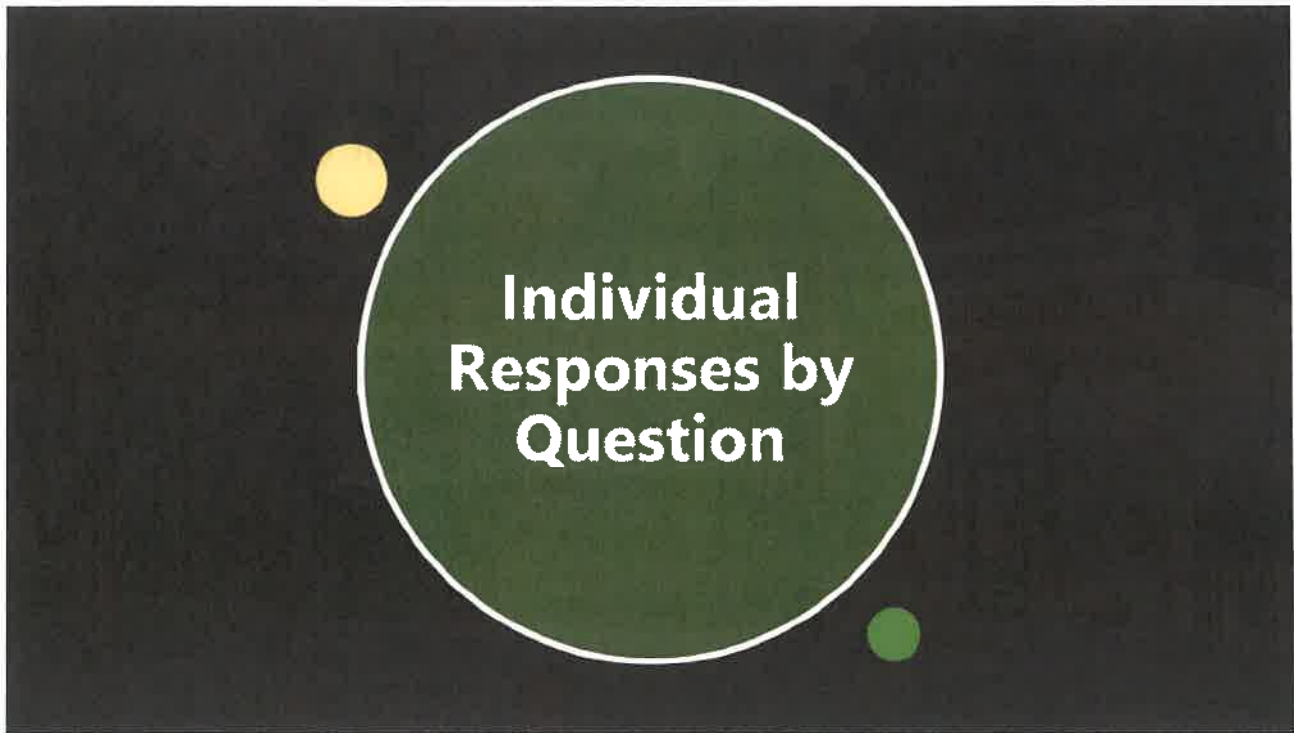
Q23: Do you have any other comments, questions, or concerns? (3 of 3)

Respondents: 24

Responses

- 22 More street lights. It's so dark in the evenings, from hwy 24 you won't know there was a town.
- 23 no. by you looking for community input I hope this means the "good ole boy" group is no longer in power.
- 24 I am excited to learn the results of this survey.

36



Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 1 of 6)

Respondents: 117

#1	#2	#3
The School	Small Town	Willie's
Small	Great school	Excellent for families and kids
Neighborhood values	School is amazing	Close to Manhattan
Small community	Great schools	Friendly people
Black Jack Spring	8-sided grain bins	the residents
Safe	Small town values	Friendly
small town feel	kid friendly	opportunities for kids activities
The people	The school	Coffee shop and restaurant/bar
The people are kind and loving	The police are so understand	First time I feel safe with my home
The people	School system	Willie's hideout
Schools	Community	Location
friendly	Quiet	Property taxes
Smaller community	Friendly	Good schools
Small town	Willie hide out	
school	size	parks, trails, walkability
Cheap living	Quiet for the most part	The water guy
Close to Manhattan but away from busyness	Low crime	Friendly neighborhood
Spring Tank	mural on the side of the old store building	8-sided grain bins
The people	The businesses	Proximity to city
River access	Safe for walking/running (except for where there aren't sidewalks)	Small town with a lot of legacy residents who are charming

Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 2 of 6)

Respondents: 117

#1	#2	#3
Friendly Location, easy river access The people Small The people Quiet community Quite Willies Small schools grew up there and went to school K-10 Small town atmosphere The friendly people Small town feel The bar Small Location to Manhattan The schools Small town feel Small town Willie's	Small town Quaint Small town feel Good people The school Willies Rural Old grocery store Food options spring tank Taxes The school Friendly people Boggs landing Quiet Reasonable housing prices Willies Hideout People Close community Kawnsafee	Schools A lot of potential! The location School Potential Nice neighborhood Mostly friendly people Spring tank Acreage small community Schools Location The shame I feel driving past the tore up flags by the police dept. Five Loaves Coffee Shop Proximity to Manhattan and River Access Tucked away

39

Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 3 of 6)

Respondents: 117

#1	#2	#3
Small town community environment Small town feel Home Rural America Opportunities small town atmosphere People Small town feel Schools People schools small town quiet The river School District River Schools good neighbors Small town feel It's a small community with that small town feel -- you can walk up to just about anyone and have a friendly conversation	Growing with businesses to support small community Proximity of city hall to downtown Kind people "Small Town" Atmosphere Friendly people Small community Established personal relationships Close to Manhattan School people feeling of safety Available Sidewalks (although some in poor shape) Proximity to Manhattan Country feel People the school district House prices/neighborhood It's a quiet town located between Manhattan and Wamego, making it a great place to live and within a manageable driving distance to work in either of the two cities.	Small community with close access to larger city Spring tank Awesome school Family affordable housing School Good place to raise a family Friendly people Willies by the river The school Affordability Friendly it is peaceful Schools There's a lot of history in town and most of the original buildings from years past are still standing

40

Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 4 of 6)

Respondents: 117

#1	#2	#3
spread out Fantastic school! Great School district Willie's Hideout/contributions to community Schools great schools People Friendly people Grade school School district Schools Small town character Small town character Schools By River School Ummm nothing now Everyone knows everyone It's growing It's close to Manhattan so there are job opportunities	small businesses returning to downtown Friendly small town Close to Manhattan and Wamego Lighthouse food pantry Rural Willie's Elementary school Small town community Quiet Young families flock here Emerging local businesses Potential for development People Historical feel Location Used to be friendly It's quiet but close enough to a bigger city It's starting to have business Great school system	great schools Location is wonderful Safe place 5 Loaves Close to Manhattan Good neighborhoods Willie's Good vibes Friendly people Willie's Hideout Emerging youth activities Riverfront Small historic town Community desire for improvement Taxes Main part of st george is being forgotten The history There's a lot of friends Near Wamego, which has a lot of fun events and things to do

41

Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 5 of 6)

Respondents: 117

#1	#2	#3
River access Law Enforcement - SGPD Friendliness of neighbors Rural Small Town feel Community events Good school Safe Willie's hideout Homes are inexpensive Small but close to Manhattan Good location small town atmosphere Close to river Spring Tank Small town neighborhoods Safety The police department is good Access to ball fields and recreational oops for kids (sports, park, etc.) The people	Character Small town feel/friendly people Quiet atmosphere Spring tank Community Friendliness Small Quite School Nabors are nice Quiet Country vibe low taxes Small town living River access Low population Turkey Ridge neighborhood The small town feel Small and quiet, but close to MHX Small town connection	Food School School School Friendly Friendly Community events Safe Good schools Seeing wildlife from my yard spring tank and boat ramp Local bar/restaurant Post Office Elementary School Kind people everywhere The school! Proximity to Manhattan

42

Q3: What are the THREE Most Special Things About Saint George? (Individual Responses – 6 of 6)

Respondents: 117

#1	#2	#3
Friendliness Schools Friendly people Close to services Potential for economic growth Willies! Schools Still pretty quiet There's a park for my children Generally quiet atmosphere. Small Park Was cheaper taxes small town Small town fee: Charm school system The people The people who live here	Willies Atmosphere Willie's Hideout Excellent services in MHK small town hospitality Friendly people Small town charm Not a big city Rock creek school district Everything is close Small town shops with a slow vibe Was quit and safe School district Great schools Low taxes low crime rate Our local events Willie's and Five Loaves	River access Location Safety Small town atmosphere family friendly focus Great school The people Down in the valley so we usually dont get really bad weather here Willie good pizza & the coffee shop Safe Safe and quiet Like the schools city government Great neighborhood Great schools proximity to Manhattan Small town charm without being too far from town The infrastructure available so I can telecommute

43

Q4: What are THREE improvements that are needed? (Individual Responses – 1 of 6)

Respondents: 119

#1	#2	#3
Gym/Place to work out Sidewalk improvements heading east More community activities Reduce speed traps Sidewalks Street lights more More businesses Maybe a few more shops on the main street Clean up the town Street lights in Snyder edition Streets/sidewalks Run down houses Small grocery store Lower taxes Parking main street effective, organized communication to residents Street and road repairs done the right way Bathroom at city park cops need to patrol the city streets and not just the speed trap by the school	More businesses Additional baseball & soccer fields Another restaurant Better roads Sidewalks Roads more repairs on grass areas More community functions and events Town Hall more accessible Attract businesses Better water Spruce up housing in "old" part of town Park City pool More dining options Speed limit too far out of town Snow plowing clean up Sidewalk repair preservation of historical sites	More community events Downtown events Bridge across river Sidewalks Sidewalks Clean up of rougher areas of town Food bank open more frequently Family friendly art/music City government transparency Clean up of some properties small store for groceries an actual city hall building

44

Q4: What are THREE improvements that are needed? (Individual Responses – 2 of 6)

Respondents: 119

#1	#2	#3
More community areas Sidewalks More downtown businesses Clean up More opportunities Roads Streets More small business City pool would love to not have to drive to Manhattan or Waukegan More parking Water supply Recreation for kids Main street needs an over haul More businesses (Bodega or something) City park access and parking Downtown parking Bicycle path on military trail all the way to waukegan Affordable housing Code enforcement More community building events	Paving of some streets Street and alley lights need fixed and more of Post office open more hours City codes or ordinances to be enforced More business More businesses, especially food Sidewalk Street repair Increased police patrol: more than one officer on duty at a time Boutique Gym town needs cleaned up and citations given for houses with trash and crap every where More streetlights Revitalization of blighted properties Street improvements Bicycle paths Street repairs Downtown housing cleanup, improve curb appeal Revitalize downtown	More business opportunities More community events Grocery store needed More family friendly events Trash for sale on site Sidewalk on both sides of street! More police officers in general Large scale community daycare old softball field needs a facility and more parking Code enforcement (access to a dog catcher, cite people for trash in their front yards) Businesses Actual police/city hall/court building Expensive water bill

45

Q4: What are THREE improvements that are needed? (Individual Responses – 3 of 6)

Respondents: 119

#1	#2	#3
Annexation of Highway 24 and surrounding areas Water drainage issues Better infrastructure Infrastructure (updating old roads/signs) Parking for downtown Soil Grocery Opportunity water maintenance given to Manhattan City infrastructure (recreation library, public works) Beautification More activities shopping a few more street lights on certain streets The City Park and its killer cottonwoods Road improvements Eating options Sidewalks infrastructure roads and sidewalks Clean up some run down houses Infrastructure - especially alleyways and fire hydrants. Hydrants have been inoperable for years and this poses serious safety concerns in the event of a structure fire	24 hour police protection Dirt-silt issues More business recruitment Building connection between community and city government Infrastructure for parks Lights get rid of police force - use Port County officers Modernization Amenities like a pool More stores roads The sidewalks downtown Sidewalks to east neighborhood Grocery options Speed limit signage More Businesses Additional developed land/zoning for future business	Bring more business to the city which will occur through annexation Water pressure issues for new housing Update downtown Comprehensive city plan and shared vision Speed limit raised to 30 in spots street care - too many potholes in neighborhoods More entertainment options (dining, entertainment, activities, etc) Update events Community Foundation that can maybe help people in need of anything from paying medical bills to getting their yard cleaned up. Businesses Community gathering space Parking availability on main street a comprehensive plan of direction Speeding tickets for 2-3 mph over speed limit More community events to bring St. George residents together.

46

Q4: What are THREE improvements that are needed? (Individual Responses – 4 of 6)

Respondents: 119

#1	#2	#3
<p>people need the desire to build inside the city limits. streets need to be updated to do this</p> <p>Aesthetics - new 'St. George' signage, spring pic pipe - less make that visually attractive</p> <p>More businesses</p> <p>Turn times from Hwy 24 EB to Black Jack</p> <p>Businesses</p> <p>Housing rehabilitation</p> <p>Streets</p> <p>Streets</p> <p>Parking and water drainage around city park</p> <p>Down town coming.</p> <p>Additional small businesses</p> <p>Paved roads from all directions into town</p> <p>Accessibility</p> <p>Sidewalks</p> <p>Use of river</p> <p>Roads for old part of town that we were supposed to have several years ago</p> <p>A pool, arcade, skate park - something for older kids to enjoy other than a park</p> <p>Sidewalks</p> <p>Landscaping</p> <p>Downtown businesses</p>	<p>Make homeowners keep properties clean so people want to move in</p> <p>Sidewalk improvement safety along 1st St</p> <p>Better roads</p> <p>Drainage dip at Snyder/Lockett neighborhood</p> <p>The town is still kind of dump</p> <p>extension of city boundaries</p> <p>Lighting</p> <p>Streets</p> <p>Sidewalks</p> <p>Down town and original city plan redevelopment</p> <p>Youth sports</p> <p>Clean up the city, too many trashy properties</p> <p>Business retention and development</p> <p>Historic landmarks</p> <p>General cleanliness of town</p> <p>City police force is targeting people</p> <p>Drainage system for rain on 2nd street and maybe others? (I live on 2nd but not sure about others)</p> <p>Sidewalks</p> <p>Better parking (that has actual parking - not in someone's backyard)</p>	<p>don't make all your income off ridiculous speeding tickets. T</p> <p>Road improvements</p> <p>Better leaders</p> <p>Overgrown property, disabled cars</p> <p>Water the canal</p> <p>Sidewalks</p> <p>Streets</p> <p>More community parks</p> <p>A park that isn't in the back yard of a trader house</p> <p>Gathering location for medium sized events</p> <p>Riverfront development</p> <p>City Pool</p> <p>Small business</p> <p>Sidewalks and gutters on 2nd</p> <p>More advertising and/or signage on main street or military trail to gain more business from people who pass through</p> <p>More parking</p> <p>Amenities (i.e. somewhere to buy milk,</p>

47

Q4: What are THREE improvements that are needed? (Individual Responses – 5 of 6)

Respondents: 119

#1	#2	#3
<p>Speed limit adjustment</p> <p>More community events</p> <p>More businesses in downtown</p> <p>Community Center</p> <p>More businesses - small grocery store</p> <p>Streets</p> <p>Swimming pool</p> <p>Roads</p> <p>More small town activities</p> <p>More diversity</p> <p>roads</p> <p>Diverse shopping options, I.e. get a boutique or something</p> <p>Police house</p> <p>Road pavement on 6th street</p> <p>People need to follow Covid guidelines</p> <p>Infrastructure (paving roads within the city limits)</p> <p>Bottling cages like Wamego has at the ball diamonds</p> <p>Roads in the original part of town</p> <p>Revitalize downtown</p> <p>Flush & Hwy 24 intersection</p>	<p>Direction signs to all routes/ passages to 24 from</p> <p>City water</p> <p>Curb appeal downtown (like nice Citrus decorations)</p> <p>Recreation spaces</p> <p>Downtown parking improvement - tear down old buildings for new business space</p> <p>Parks</p> <p>Liquor store</p> <p>Infrastructure on sewer and water meters</p> <p>Swimming pool</p> <p>Paved roads in rural neighborhoods</p> <p>Sidewalks</p> <p>Improve park</p> <p>Historical bldg upkeep</p> <p>Businesses wearing masks and following safety protocols</p> <p>Fix the roads</p> <p>More things for kids to do</p> <p>Roads in the original part of town (listed twice on purpose, that had bad condition)</p> <p>Widen roads or no parking in street signs in neighborhoods</p>	<p>Better ID of springs - "big tree" depot preserve Old gran bins</p> <p>City park</p> <p>More sidewalks</p> <p>Restaurants</p> <p>Youth programs</p> <p>Streets</p> <p>Better ball fields</p> <p>Speed limits</p> <p>More small business for shopping</p> <p>No cars</p> <p>clean up trash/tree limbs/alleys</p> <p>Have people clean their front yards of unsightly junk</p> <p>More family oriented events</p> <p>More lighting on sixth street</p> <p>A small convenience store would be nice</p> <p>Street light throughout town!!! - New & original sections</p> <p>Install city pool</p>

48

Q4: What are THREE improvements that are needed? (Individual Responses – 6 of 6)

Respondents: 119

#1	#2	#3
<p>More businesses</p> <p>Planning, as expansion seems fast and problems need to be anticipated</p> <p>more family entertainment</p> <p>Roads:</p> <p>More things to do</p> <p>Some streets fixed</p> <p>Play Equipment for the park</p> <p>Sidewalks in the newer development (near Prairie Meadow Rd)</p> <p>speeds on new construction homes are too high</p> <p>Sidewalks</p> <p>More events</p> <p>Impoverment is rare here</p> <p>Streets:</p> <p>More street lights</p> <p>Proper drainage infrastructure</p> <p>The roads! Live off 6th Street in Turkey Ridge!</p> <p>Something needs to be done about the Bush 24 intersection</p> <p>Community clean up in the heart of St. George</p>	<p>More community fellowship of people who live here</p> <p>Safety and improvements of the roads. I worry about the road damage presented to our younger drivers and all drivers</p> <p>more retail and service business</p> <p>More businesses</p> <p>More paved roads leading in town</p> <p>Either take out the trailer park completely or get fewer trailers in there</p> <p>Restrooms at the park</p> <p>Street lights to ensure safety after dark (again near Prairie Meadow Rd in new development)</p> <p>City water/sewer rate is too high</p> <p>Sidewalks</p> <p>Mexican restaurant *We NEED a good local option</p> <p>Improvements bring in more people</p> <p>Clean up run down buildings</p> <p>Grocery store</p> <p>Infrastructure roads, water treatment system</p> <p>Outdoor spaces/park and trails improvement and expansions</p> <p>The bringing together of the people in the heart of St. George with those new residents in the development</p>	<p>A public library</p> <p>Careful thoughtful commercial improvement and development along Hwy 24</p> <p>more recreation opportunities</p> <p>More diversity</p> <p>More kid friendly activities</p> <p>Walking trails</p> <p>Invest in the visual improvements of Saint George</p> <p>Sidewalks</p> <p>There isn't as quiet and safe</p> <p>Code enforcement for construction/development</p> <p>main street renovation</p> <p>Community building events like tree lighting (1 a year)</p> <p>More businesses</p>

49

Q5: If you had the ability to change ONE thing, what would it be? (1 of 6)

Respondents: 103

Responses
1 Add a restroom at the park
2 Bridge over river
3 People trying to change the originality of the city
4 Clean up blighted areas (old run-down)
5 Have a better repair of roads/paved roads
6 Continued improvements of family friendly places such as park, ball fields, community center, etc
7 Making the curb more handicapped accessible
8 Clean up the town
9 Street lights in Snyder edition
10 Clean up old St. George
11 The speed limits in certain areas r too low
12 Moved to Port county 15 years ago because taxes were lower than Riley county. Taxes have gone up exponentially and will move from the area in the next couple years
13 Fixing on main street
14 The good ole boy or buddy system with the city government and departments
15 More restaurants that deliver
16 the fact that the people in the new housing developments don't care about the town of Saint George even a little bit, and don't have any involvement or connection to the city, but somehow influence all the decisions.
17 Have a community center
18 Sidewalks East end of town towards Wamego isn't safe for kids walking home to the new addition of Chapman.
19 Grocery store needed
20 Cleanliness of downtown areas

50

Q5: If you had the ability to change ONE thing, what would it be? (2 of 6)

Respondents: 103

Responses

- 21 More opportunities
- 22 Improve streets and sidewalks
- 23 Repair entrance to Snyder off Military and add sidewalks to both sides of street
- 24 Annexing North of city limits and West to at least Oak Grove Trailer Court, Wainwright and Manhattan are continuing to expand sooner or later the city will be absorbed if we don't expand ourselves Plus the city is missing out on the tax revenue from the businesses along 24 just outside of the city
- 25 Speed limit
- 26 Sports complex
- 27 make inner city st george as eye pleasing as outer city st george
- 28 Code enforcement access to a dog catcher, cite people for trash in their front yard
- 29 Add downtown parking in some way — as without this there will be no business growth
- 30 A path so joggers and bicycles can safely travel
- 31 Compared to other residences I have had price of water and sewer is very high
- 32 Revitalize downtown and have more community building events
- 33 Grow the city out to highway 24 and annex the businesses up there to get their sales and property tax revenue to help sustain the cities growth
- 34 Dirt and water issues
- 35 More business
- 36 Parking availability for downtown
- 37 Soil quality
- 38 Developers are starting to over build
- 39 Water quality
- 40 Maintain the small town feel while offering big city services

51

Q5: If you had the ability to change ONE thing, what would it be? (3 of 6)

Respondents: 103

Responses

- 41 Make St. George prettier
- 42 More events in town
- 43 need shopping or eating
- 44 That the Old Hwy 24 Military Trail Rd. not be bike/cog/Avia's friendly. I am a firm believer in exercise but there are not my shoulders for those individuals to run/walk. I realize this isn't a city problem but it is a problem that the city is right in the middle of
- 45 A cashless community center. Something maybe in the vain of green valley road. Just a space to have events, Christmas bazaar, birthday parties, weddings
- 46 Roadway improvements bike lane on Military Trail Road, fire potholes, sidewalks, additional parking signage in neighborhood
- 47 No drainage road, nothing that makes anyone or stand out
- 48 Police enforcement work on vehicle parking when waiting creation: Parking in middle of roadway or in school parking lot jamming up school drop off is unnecessary. There are other ways to safely do your job
- 49 a comprehensive plan of direction
- 50 Clean up
- 51 Retain the bridge linking St. George and Zeandale across the Kansas River
- 52 making people get rid of old junk cars in yards. It is an eyesore. New people don't want to build by that
- 53 Signs entering and exiting town, the spring would look awesome with a pretty little water wheel or something other than 'plumbing' coming up out of the ground...
- 54 More specialized businesses
- 55 Assist with property clean up
- 56 code enforcement
- 57 Streets
- 58 To many cops
- 59 More community parks for walking, running, kids, bicycling, enjoying nature, playground that doesn't flood
- 60 Stop building affordable housing (habitat homes) on main street. I'm fine with affordable housing. But I don't think we want that to be front and center

52

Q5: If you had the ability to change ONE thing, what would it be? (4 of 6)

Respondents: 103

Responses

- 61 Make St. George prettier
- 62 More events in town
- 63 need stopping or exiting
- 64 That the Old Highway 24/Military Trail Rd. not be bike/cow/walk friendly. I am a firm believer in exercise. But there are not any shoulders for those individuals to run/walk. I realize this isn't a city problem. But it is a problem that the city is right in the middle of.
- 65 A city hall/community center. Something maybe in the Van H. Green valley road. Give a space to have events. Christmas market. Birth day parties. Weddings.
- 66 Roadway improvements (bike lane on Military Trail Road, fix potholes, sidewalks, additional parking signage in neighborhoods)
- 67 Fix drainage and routing that makes sewage drain out
- 68 Police enforcement work on vehicle parking when writing citations. Parking in middle of roadway or in school parking lot jamming up school drop off is unnecessary. There are other ways to safely do your job.
- 69 a comprehensive plan of direction
- 70 Clean up
- 71 Rebuild the bridge linking St. George with Brandale across the Kansas River
- 72 making people get rid of old junk cars in yards. It is an eyesore. New people don't want to build by that.
- 73 Signs entering and exiting town, the signs would look awesome with a pretty little water wheel or something other than "plumbing" coming up out of the ground.
- 74 More specialized businesses.
- 75 Assist with property clean up
- 76 code enforcement
- 77 Streets
- 78 To many cops
- 79 More community parks for walking, running, kids bicycling, enjoying nature, playground that doesn't flood
- 80 Stop building affordable housing (habitat homes) on main street. I'm fine with affordable housing. But I don't think we want that to be front and center.

53

Q5: If you had the ability to change ONE thing, what would it be? (5 of 6)

Respondents: 103

Responses

- 81 To require people to keep their "stuff" aka junk in their backyards
- 82 Stop high cost housing being built in our small town. It's taking away from it's charm.
- 83 Road pavement lowers water bills
- 84 Fave Rockerham to Hwy 24
- 85 Dedicate city tax payer dollars to recreation (St. George rec, bath find maintenance, etc.)
- 86 REDUCE water & sewer bills!!! Highest cost in the state!!! Previous city council said that budgets would be able to lower these costs, as River View & Turkey Ridge additions were developed and added into the equation!!! Time to deliver on that promise!
- 87 Have more options for going out & shopping
- 88 Too many new housing developments
- 89 The fact that our town lives up to the reputation of a speed trap. I have many out of town friends that don't want to meet at Wilkes or Fine Loaves because they don't want to get a ticket for doing 21 in a 20 mph. Yet it happens.
- 90 Enforcement of traffic laws
- 91 Increase city limits boundaries to increase tax base and protect city from Manhattan, Wamego eventual expansion
- 92 Road conditions and paving dirt roads
- 93 Fave Rockerham into town from 24
- 94 Not sure at the moment
- 95 The park
- 96 Require every street to have a sidewalk
- 97 Sidewalks
- 98 A restaurant with drive through option. Not fast food though
- 99 Stop allowing developers to come in, tear up neighborhoods and build low quality homes
- 100 cost of water and sewage

54

Q5: If you had the ability to change ONE thing, what would it be? (6 of 6)

Respondents: 103

Responses

- 101 The roads are a mess and need a lot of help. We seem to spend an awful lot of money/resources rockin'/resulking/removing rock from Franklin/Rock in Lums (fth) and it NEVER gets any better or does anything of substance.
- 102 Make the flush and 24 intersection safer
- 103 A town clean-up

55

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (1 of 7)

Respondents: 74

Responses

- 1 Stays small, annual events/festivals, continued improvement to downtown
- 2 More self sustaining, recreational venues for young adults, community outreach programs helping neighbors. Clean, safe, happy
- 3 continued small town feel with more shops(hardware shops would be nice)
- 4 A city with thriving businesses and a strong sense of community. I want my kids to grow up and feel like they belonged here and were a part of a broader community. A hometown that they return too and bring their kids too.
- 5 I would love to see us expand toward the river and develop there. River walk / trail and business / restaurants along the river on southeast side of town
- 6 It would be so awesome to have more community events that St George is known for, a vibrant downtown area perhaps with shops and although most likely not feasible, it would be cool to have a community pool.
- 7 I want the town to be like Saint George and not be turned into or be like other towns in the state of Kansas. Saint George needs to keep its own personality and stop trying to push other cities policies or procedures on the town.
- 8 I would like St. George to stay its own small community where people know each other and are friendly to each other. I don't want it to be over-developed with a million suburbs like it's already starting to be, where none of the people in the suburbs know anything about the town.
- 9 A place where families can grow and the community can be together. A place where businesses can grow
- 10 I want st George to be a safe small town feel place to live. Foster community involvement to make it feel safe. A place I can gather with a neighbor for a coffee or a drink of a sandwich. Where we have everything we need here. We don't need manhattan or Wamego.
- 11 I would like it to be a small town with opportunities for families. I would like it to remain affordable.
- 12 Maintain community feeling, strong schools, more restaurants
- 13 I would like to see St George keeps its small town feel, rich with neighborly interactions and willingness to help each other out. I hope that we can keep the care level high and also improve streets and the existing historical buildings.
- 14 Don't know

56

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (2 of 7)

Respondents: 74

Responses

- 15 I'd love to see the city expanded and growing with businesses in the town. It's nice having a bar and a coffee shop but the city needs so much more to grow. Unfortunately without expanding the city limits more to the highway businesses won't want to set up. The city is no longer on a main road like it use to be before 24 opened. Less traffic means less people, which creates less business. Companies don't want to put up a shop in a city not on a main road way. By staying in a bubble not annexing/expanding we are crippling the city and the city sooner or later will be absorbed/annexed into Manhattan or Wamego. As both them are continually annexing and expanding in our direction.
- 16 Recreation like soccer and softball, swimming pool, gym, collegiate/school based daycare facility
- 17 I would like to think people would start caring about what the little town looked like. I lived in St George from my kindergarten thru senior year. I watched them tear down the high school and make it a parking lot!!!!!! I visit every so often and I am absolutely disgusted that it is a total shit hole... Giving the bar an over haul is good but everyone knew that would be successful as the town is made up of old drunks ☹️ reopen the grocery store!!! City pool
- 18 If I were to be living in St. George in 20-30 years I would want it to keep its small town feel. I think we are missing a corner store for essentials. Also, would like to see the police officers paid a living wage.
- 19 Small town with improved streets and more community services ... strong city hall and recreation center ... possible swimming pool and niceness park area
- 20 Path from the start of military trail all the way down to wamego so people can bicycle safely. Painted gold. Maybe to the oz museum.
- 21 The city needs to annex more territory, up to hwy 24, north and east
- 22 I would like there to be more small, local shops and restaurants and events for young adults and families. I'd also love to see more green spaces and beautiful parks. Maybe something along the River.
- 23 I would love to see Saint George become the next Wamego and believe it has the ability to do so through aggressive annexation and proper marketing. I'd love to see the addition of affordable apartment complexes as well in addition to more new housing developments

57

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (3 of 7)

Respondents: 74

Responses

- 24 It shouldn't grow too much I think some areas need to be cleaned up to look less junky. Downtown area needs some cool features maybe a community fountain, tree, more picnic benches near boat ramp etc
- 25 Nice small town with availability of goods / services nearby. Parking with lots of parks and wildlife / river frontage trails.
- 26 I would like to see the water maintenance give over to Manhattan. We have had ours shut off way too many times because of leaks in the tower/basin. We also experience a bad smell and the water is yellow at times with no explanation. I never know if the water is always safe or if I should boil it first when it smells and is yellowish. This is really frustrating. I want St. George to be a nice, friendly neighborhood place. I want my kids to feel safe to roam the streets to play with their friends. I want my neighbors to be nice enough to bring me packages that were delivered to their house erroneously. This has been a big deal. I guess you could say I would like the post office to properly deliver packages in the first place. I would love to see some small businesses come in: small grocery/convenience store, eating places. Anything other than what is there now. There is only so much you can polish a turd and Willie has done it too much. Those buildings need torn down and rebuilt. They are full of mold and are not healthy for people to be in. We ate at Willies once, but cannot return because of the mold issues in all the buildings. That needs fixed first.
- 27 Keep the small town feel, but more opportunities for people to shop/eat in town instead of going to Manhattan
- 28 St. George will be a city experiencing a high growth rate that attracts not only a young crowd but caters to families and the older community. Vibrant should be a word we embrace
- 29 It'll be booming because of the families moving to this area for the great schools. We'll have a beautiful downtown area and St. George will be a place that everyone wants to live
- 30 More events for families, swimming pool
- 31 a special get away from Manhattan with unique shops and dining, a Christmas town with lights
- 32 A vibrant main street that preserves the history as much as possible. Safe parks, sidewalks, and housing for different income groups. Keep it simple.
- 33 Affordable low crime community with safe roads and safe pedestrian access to high quality school.
- 34 A community that has a unique niche that draws people to it

58

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (4 of 7)

Respondents: 74

Responses

- 35 I want people to feel like St George is home and they are vested in seeing growth and improvement. I like the small town feel and the friendly nature of most people.
- 36 More diversity in options, both businesses and housing
- 37 I see St. George growing to be much like Wamego with a robust business district and a strong sense of community
- 38 Clean, friendly streets with sidewalks we can walk around neighbor hoods. People shouldn't have to walk in the streets.
- 39 Clean and updated, homes that are run down fixed and/or replaced, thriving small businesses.
- 40 I think Saint George did great with it's school program. I also heard that they have a nursing home that specializes in Alzheimer's compared to Wamego. I think Saint George needs to continue this path so I would like to see some businesses added that specializes in a field. 20 years I would like to start seeing more jobs in Saint George so it can sustain itself without the need of nearby cities.
- 41 Affordable housing such as "low income" govt assist housing. May help decrease the property unable to be maintained.
- 42 clean streets, clean neighborhood, no dilapidated housing, mix of housing, light retail and services, road improvements
- 43 I would like to see it stay very close to how it is now with a few improvements. No chain stores, small town feel.
- 44 To be just like wamego
- 45 I would like to see St George expand it's conveniences and charm over the course of the next few decades. St George has a lot of "transition" to make (especially within the original city plat) before we get to a place that people want to spend time in the downtown. I would be happy to see the downtown redeveloped and the original city transitioned to better reflect the majority of its population. And I would like to see a few simple conveniences added locally (which we are already beginning to see). I am thrilled to see this comprehensive plan being pursued.
- 46 Small town feel that attracts young families to live and raise a family. But also attracts tourists for our unique preserved historic landmarks, river front parks, restaurants and community kid friendly activities.

59

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (5 of 7)

Respondents: 74

Responses

- 47 Continue that small town feel. Should be a destination for families and groups for weekend events and daily needs. Should have that getaway feel that people talk about when they go back to work on monday... "hey what did you do this weekend...well"
- 48 Something for all the kids to do other than run the streets.
- 49 A more involved community where people won't feel like their opinions or views aren't as important as those with familiar last names or the long time residents. I still feel like most of those that live in the newer additions are complete strangers and in reality they're just as close to me as all the people that have lived here forever. Maybe more community gathering (after coronavirus is not a threat). The annual street dance and the event in city park (not sure if that was the street dance or something else because I was young last time that happened so I dont remember) but it gave everyone a chance to socialize and become close like small towns should be
- 50 Leaving a good place for our kids to live
- 51 I envision Saint George to have grown further North, East and West. I would like to see updated community buildings such as city hall, court room, police dept, etc. A rec center would be nice and maybe even a library. More law enforcement as the city grows potentially switching to a 24 hour coverage. Better/updated gravel roads.
- 52 I really appreciate the small town feel. I would like there to be more opportunities downtown to shop or eat. An old-fashioned general store with basic necessities, or even some thing like a soda fountain, would be fun. If there can be some incentives for small business owners, that would be awesome. I'd also like to see some of the more rundown houses cleaned up, or addressed in some way. In my neighborhood, which is across from the elementary school, there are also a lot of drainage problems. We need more drains built into the streets.
- 53 A community that grows yet develops and improves its businesses. etc
- 54 Parks
- 55 A small community with a swimming pool, street lights, better ball fields, and a small town business area.
- 56 We will need a frontage road coming from Manhattan to St. George or Wamego.
- 57 Update the general store

60

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (6 of 7)

Respondents: 74

Responses

- 58 I would like it to remain a small town feeling with something for people to do like miniature golf course or skating rink, enlarge the park, ice skating rink
- 59 Town pool, beautiful houses in regards to their upkeep. I.e mow lawns, no trash, broken down cars or RVs. A great family place to live with things geared towards that.
- 60 To not loose the small town vibe and historical values of the past. Don't over build.
- 61 A warm community that welcomes visitors a few times a year with businesses that welcome.
- 62 Improve roads and drainage. No need for a city pool, if we can't improve roads and basic drainage issues / infrastructure.
- 63 Small town atmosphere, better family Rec activities, city pool, walking trails. Would like pharmacy, grocery store.
- 64 I would like St George to be a vibrant community with a thriving downtown that has individual and unique/ one of a kind shops. I don't want corporate business. I want a hometown "Mayberry" feel to it. I would like to see a public library and pool.
- 65 Remain small town charm. Avoid blighted areas developing.
- Do not over developed restaurant or even housing subdivisions beyond the scope of what is financially supporting of the population. Slow thoughtful growth. Money management without having to increase taxes on residents. Growth is tempting, but really a strong and stable foundation is most important. Development needs to be held accountable for longer term impacts, environmental and infrastructural.
- 66 A historical looking town that is able to offer area residents conveniences so they can support St. George rather than Manhattan. Recreational opportunities that would draw others to visit and businesses to support visitors.
- 67 More businesses but yet still our quiet little town.
- 68 More community events.
- 69 Still small town feel and safe.
- 70 Just keeping it clean.
- 71 I would hope it would still give that "small town" feel but be beautiful and modern.

61

Q7: Describe your vision of what you want Saint George to be like in 20-30 years. (7 of 7)

Respondents: 74

Responses

- 72 I would like to see sidewalks and curb and gutters to insure the safety of our children walking to school and around town.
- 73 Keep the small town charm, continue to separate ourselves from Wamego and Manhattan, neither of which represent St George people properly. Invest more into our schools as they are the best in the area but still need more funding/help to continue.
- 74 I am a fan of what Wamego, KS as a community. I'd like St. George to become a community that's "on the map" and have the feeling the town of Wamego has. I'd prefer it not to become an eastern subdivision of the City of Manhattan.

62

General Feedback

Topic	Day/ Time	What did you like in this section?	What did you disagree with?	What is this section missing?
General Feedback	02-23 10:00	I like that the community provided input on prioritizing opportunities in the city.	There is no description of how the conversion of ag land to "suburban" uses would happen, nor is there a description of what agricultural practices would fit into "suburban" uses. It is concerning that suburban uses are described as residential and commercial, but agriculture isn't mentioned in that context. There should be reassurances that agricultural uses can continue, and that land values/taxes in agricultural lands won't be impacted (unless, of course, actions are taken by a landowner to rezone and develop them).	The plan anticipates agricultural use will be wiped out in the area, without addressing the impact of that. Agriculture is currently the predominant use in the area, and yet is only listed 2 times - in the map keys for current and future land use.
General Feedback	02-23 17:24	I do not appreciate this plan in the affected area. There was no public notification. There was a post to Facebook. I don't have Facebook and if I did why would I stumble across it? I want nothing to do with the city of St. George.	Please fix your city before you mess with my area.	Input from the people who are affected! You are trying to move in on my area with out asking, notifying me, or voting
General Feedback	02-26 13:12			Sidewalk connecting the Riverview area to sidewalk downtown to provide a safe walkway for the Children to walk to School.

Topic	Day/ Time	What did you like in this section?	What did you disagree with?	What is this section missing?
General Feedback	02-26 19:07	Not a good plan at all.	This plan will remove all of the current agricultural land (pastures, cropland, vineyards, orchards, etc.) and replace them with residential housing. People moved to this area to avoid the crowded and unsafe city life. This plan will force people to live in the environment which they did not want to live in the first place.	The plan lacks the vision and the desire of the residents to live in a free, open, and safe environment for them and their children.

Community Values

Topic	Day	Are you satisfied with the community values?	If you said no, how would you change the community values?
Community Values	02-23	Yes	
Community Values	02-24	No	I believe St. George Elementary is a huge asset to St. George. St. George is important to the school's growth. There doesn't appear to be much communication between the two entities. One would think there would be more of an interdependent relationship between the two.
Community Values	02-27	No	The value look great, but they aren't accurate yet. We don't feel safe walking, etc.
Community Values	02-23	Yes	Somewhere, it would be nice to include the idea of building on the legacy and history of St. George.
Community Values	02-23	Yes	
Community Values	02-23	Yes	
Community Values	02-23	Yes	
Community Values	02-23	Yes	
Community Values	02-23	Yes	
Community Values	02-23	Yes	
Community Values	02-24	Yes	
Community Values	02-24	Yes	
Community Values	02-24	Yes	
Community Values	02-25	Yes	
Community Values	02-25	Yes	
Community Values	02-27	Yes	
Community Values	02-27	Yes	
Community Values	02-28	Yes	
Community Values	02-28	Yes	

Land Use

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Land Use	02-23	<p>I like the graphic representation of the area. It's been hard for me to picture what pieces of land near St. George could be used for what. Interestingly, for me, I thought there might be a lot more commercial activity along Highway 24. I didn't realize much of that land was already in use for suburban living. So this makes me wonder where St. George might put additional commercial enterprises. I'm not sure single family homes can totally support the City's infrastructure but I don't know that.</p>	<p>Nothing.</p>	<p>Not sure.</p>
Land Use	02-28		<p>I live outside the current city limits of St. George and agree with some of the concepts outlined in the map but do not wish to ever give up control over the zoning and taxation for my current property.</p>	
Land Use	03-01	<p>I feel this map properly represents the St. George identity. The St. George mail route, thus address covers 90% of the area, and all students go to USD 323 which is St. George Elementary.</p>		

Growth

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Growth and Development	02-23	I liked the idea of improving the city's visual appeal.	It's vague and doesn't specifically spell out what those plan will look like.	Examples or a description one can imagine.
Growth and Development	02-23	I like the established goals.	Nothing.	I am wondering if within Goal 1, Article 5, that along with the contiguous development patterns, there could be subgoals established to attempt to bring the different areas of town into one community. The original town of St. George has a much different feeling than the developments. The City seems disjointed. Is there a way to flow it all together via signage, some design elements, other ideas? Removing trailers
Growth and Development	02-24	Commercial infill of downtown		
Growth and Development	02-28	I like the "face- lift" of our community. To add value and attraction to downtown and older structures. I like highlighting historical assets.		Attention to walking paths- many are unacceptable, or non existent where many people walk daily.

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Growth and Development	02-24	Both goals sound good but I would like to see some opportunities to connect St George with Wamego and Manhattan to leverage those populations. What happened to that trail that was supposed to connect the three towns?	Goal 1, no. 3: any commercial (morally responsible) growth would help the town. Does this mean that some organizations would be turned down if they don't have enough fiscal benefits that can be seen on paper?	Goal 2, No. 3&4 sound the same. If you add too many signs the highway becomes visually noisy. Maybe think of nicer looking signage (not just billboards and road signs) to draw in people. Also need to think how easy they can access the town's services. That road in front of the elementary school is dangerous to exit the highway and every other way into town is so indirect. There need to be actual turn lanes on and off the highway and that road in front of the school improved physically and visually

Economic Development

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Economic Development	02-23	I liked the idea of growing down town, providing more entertainment within the city allowing resident to stay in the area and reduce the need to go to manhattan or wamego.	I don't like the idea of expanding on 24. I don't want it to feel like Kansas City where you can't tell where Manhattan ends and at George begins or wamego.	An implementation plan. :-)
Economic Development	02-24	So much. I think St. George, in the past, may have missed opportunities for eco devo growth because of its past leadership and no one knowing if it's infrastructure (sewer/water) were available to attract a small business. I would like to see these steps initiated. Even with small steps, I like to think something amazing could happen in St. George.	Nothing.	Exciting stuff.
Economic Development	02-24	Marketing		The town really needs a daycare facility inside city limits, preferably next to the elementary school for easy pick up of different aged children. It also needs summer activities/ programs/ camps for kids in town or nearby.

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Economic Development	02-27	Farmers market/food truck/other flexible space would be VERY attractive, especially for young families and professionals who see St George as the best of both worlds- close to the city of manhattans attractions and nightlife, but with the enjoyability of small town life. On Goal 1, Number 3 is extremely important since our available space now within the downtown block is basically non-existent.		Addition of an annual festival of literally any sort to drive revenue to local shops/ vendors and awareness of our city to visitors.
Economic Development	03-01			

Housing

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Housing	02-23	Amazing!		
Housing	02-23	Glad to see there is emphasis on decrepit areas in town.	Ten years seems too long of a time frame between initial and followup for properties needing rehab or demo. I think a revisit at the five year mark would insure proper attention is being given	
Housing	02-23	Excellent goals and subgoals in this area.	Absolutely nothing.	Could you define a "Rural Housing Incentive District?"
Housing	02-24	Everything! The clean up incentives is greatly needed.		
Housing	02-28	Encouraging residents to maintain and improve their property, giving attention to needed areas downtown and in older homes, encouraging people to build new structures/homes in older area.		Consideration towards how development impacts drainage.
Housing	03-01	Goal 2 , All of this section is badly needed. Many homeowners though, have no intention of cleaning up their property which is sad for the town.	Goal 1, I don't necessarily disagree with #2, but we need to create and get more businesses in town and focus on that more than more housing right now .	

Housing Diversity

Topic	Day	Do you like the idea of Denser, Walkable Neighborhoods?	Do you like the idea of ADUs?	Do you like the idea of Mixed Use Residential?	Do you like the idea of Mixed Use Residential?
Housing Diversity	02-28	Yes	No	No	

Transportation and Mobility

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Transportation and Mobility	02-23	Sidewalk infrastructure is needed and road maintenance		Something needs to be done about the housing area up towards blackjack. There are not safe routes for kids to walk home and the younger kids shouldn't be walking that far anyways but because it's in city limits the buses don't drop off there. A school bus stop is needed for that community.
Transportation and Mobility	02-23	Sidewalk improvement and a path towards zeandale or the interstate for commuters	Nothing.	Nothing I am aware of.
Transportation and Mobility	02-23	I like the goals. I particularly like the idea of Goal 1, Subgoal 5. With that in place, it would be interesting to see if St. George would grow south -- although it could be in the flood plain.		
Transportation and Mobility	02-24	Goal1, No 5! It would be nice to be more interconnected. Maybe even leverage land for development on both sides of the river.		What ever happened to that hiking trail to connect Manhattan and Wamego to St. George? If they area could leverage families that need to have an adventure and have something to do when they get there, that would bring people to the community from our neighboring towns.

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Transportation and Mobility		Love the feasibility study for the bridge. Both towns would revitalize.		<p>"Working with ATA bus to have a bus stop here.</p> <p>Removing the speed trap coming into town (it should step down over a longer distance from 45 to 35 and then to 20- not 45 to 20).</p> <p>The parking study might include paced parking along the main street instead of gravel- it will be more expensive at initial investment, but will wash out less and be easier to maintain. Could we include handicap-accessible parking and get a grant for that project as an accessibility project?"</p>
Transportation and Mobility		<p>Goal 1. Existing roads unfortunately do not lend themselves to improvement due to the geographic lay of the land and narrow roadway. Agree totally with #2, #3 would entail tearing down existing structures or moving them due to the mixture of residential structures that are in a commercial area. Unfortunately, structures such as the building where the city hall is in, should never have been allowed to be built as a private dwelling.</p>	<p>Goal 1, #5 Will have to be coordinated with the Corps of Engineers which will be a difficult thing to accomplish. Sure wish we had one though. Goal 2, road infrastructure takes money and unless we have more revenue incoming, will not happen soon.</p>	

Parks and Recreation

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Parks and Recreation	02-23	We need more opportunities for young families, trails, parks, splash pad would all be great additions	Nothing.	I cannot think of anything.
Parks and Recreation	02-23	Goal 1, #1 -- CE Team is mentioned. They are new but doing good things.		Summer camps and programs for school children. Yes, there's a desperate need for it.
Parks and Recreation	02-24	It's a great start.	Before we spend money connecting to a downtown...we need a downtown! One restaurant does not make a place to visit.	
Parks and Recreation	02-26			
Parks and Recreation	02-27			Could we look into a community garden in addition to a dog park, etc?
Parks and Recreation	03-01		"Goal 2, no reason to coordinate with the school district unless directly requesting use of the school. Goal 1, great ideas, but again way down the road."	Big, hairy ambitious project: what about a paved trail that goes from the river landing at the Linear Park all the way to Boggs landing? People that walk, run, and bike Military trail rd would love it. It could be used for 5ks, marathons, and other community and revenue-producing events.

Riverfront Development

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Riverfront Development	02-23	I like the representation of what this area could become. The photos offer ideas for the area. I really like the glamping idea. I live in St. George and would love to stay in a tiny house or small old fashioned camper that's been remodeled just for fun.	Nothing. I love the idea. I hope this is something that can become a reality.	Maybe a dedicated group of people willing to take this project on. I wonder if a lot of different groups pull together including the City, area citizens who might volunteer some time, Little Apple Paddle, Friends of the Kaw, and some of the other hundreds of people who use the St. George boat ramp might make this happen.
Riverfront Development	03-01	Looks nice and a great wish list, but it is Wayyyy, down the road and won't be done in one or two years. After all, this is a long term plan, but at least we are talking and taking positive measures to improve our city and surrounding community.	Don't necessarily disagree with too much, but the train crossing will be a big thing to get planned out.	

Services and Infrastructure

Topic	Day	What did you like in this section?	What did you disagree with?	What is this section missing?
Services and Infrastructure	02-27	Infrastructure planning for water and sewer. So many cities forget this- look at topeka.		A solution to the feral cat problem. Could at george pd also act as animal control until we are large enough to support our own animal control?
Services and Infrastructure	03-01	Agree with the Goal. We HAVE to keep City Hall Downtown. Have to.		

Community Values and Comprehensive Plan Boundary

Community Values

As the City of St. George grows and develops, it is important to showcase the foundation of this Comprehensive Plan, the shared community values. These values define the quality of life residents wish to preserve:

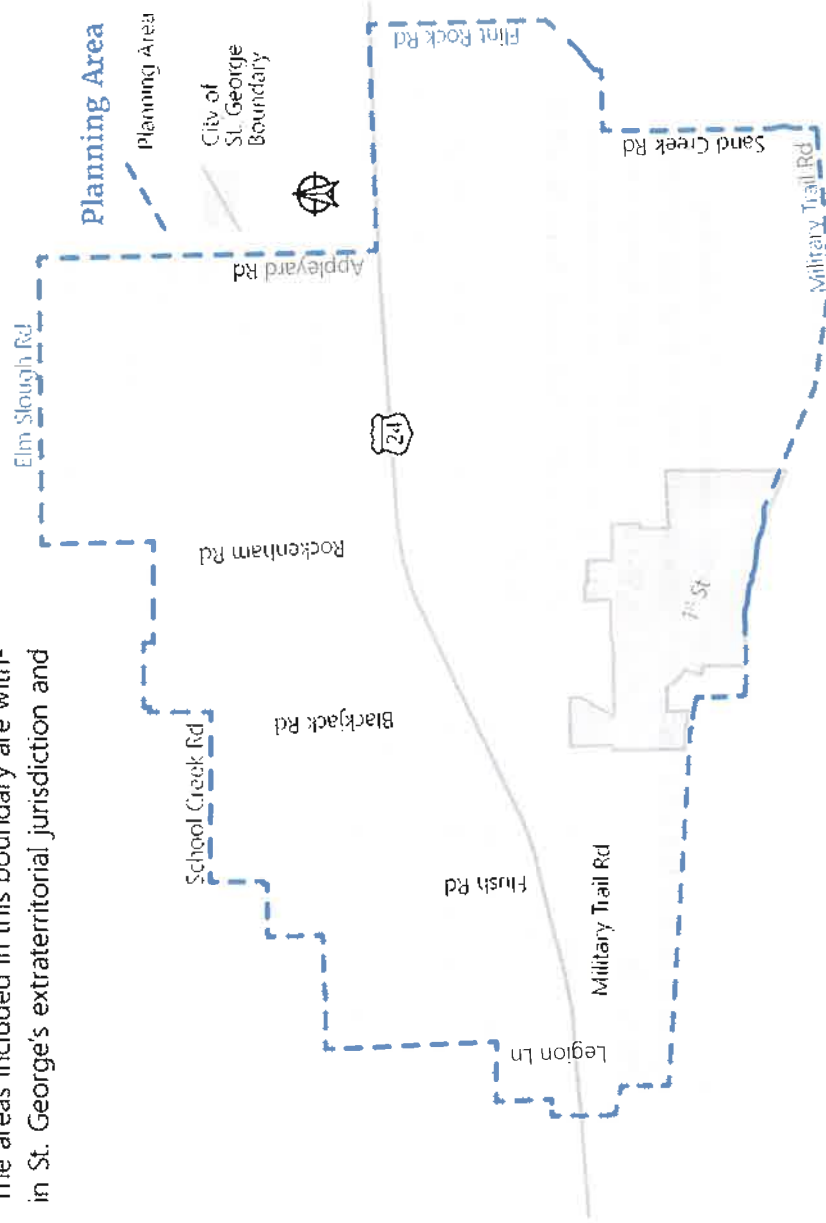
- » St. George is known for their exceptional school(s) throughout the region.
- » St. George is a place where children and adults feel safe walking and biking to schools, parks, or downtown.
- » St. George is where you run into neighbors, friends, and acquaintances at local stores, restaurants, and parks.
- » St. George prioritizes their residents in decision-making.
- » St. George is home to family-friendly events and festivals that are well-attended and gather the community.
- » The Kansas River and other recreation opportunities are easily accessible. This access supports local businesses and inspires people to spend time in St. George.
- » St. George is a place where residents take pride in their community.

'Greater St. George' Boundary

The 'Greater St. George' boundary is an influence and planning area that includes areas beyond the city limits. These areas include where people often identify that they are from St. George and/or frequently visit the city.

The areas included in this boundary are within St. George's extraterritorial jurisdiction and

could be considered for future annexation and development but should *not* necessarily be thought of as where St. George should expand their boundary over the next twenty years but instead be thought of as a way to provide input and guide development decisions.



Growth and Development: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

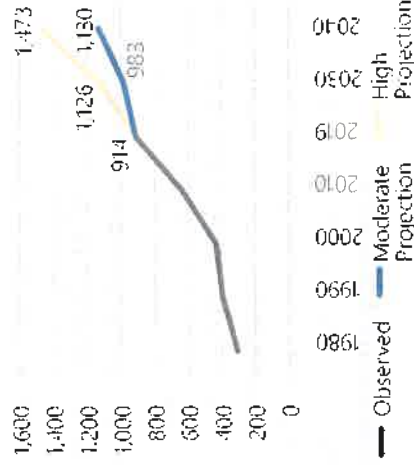
1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

Context:

- St. George reached a population of 914 in 2019, which was an increase of 480 residents in 20 years.

St. George Population Trends, 1980-2040

U.S. Census Bureau



Goal 1: Manage population growth while supporting the preservation of a small-town quality of life.

1. Establish a capital improvement plan and adopt capital spending strategies for transportation, city infrastructure, and community facilities. Update annually.
2. Adopt a requirement for a full unbiased fiscal impact analysis for all major development projects.
3. Maintain current cost of service data to conduct a fiscal impact analysis to guide growth and development decisions.
4. Promote commercial infill especially downtown. Encourage buildings to have higher lot coverages and attractive street frontages.
5. Promote contiguous development patterns that allow for more efficient and cost-effective provision of services.
6. Communicate with USD 323 in regard to new developments that may impact school enrollment.

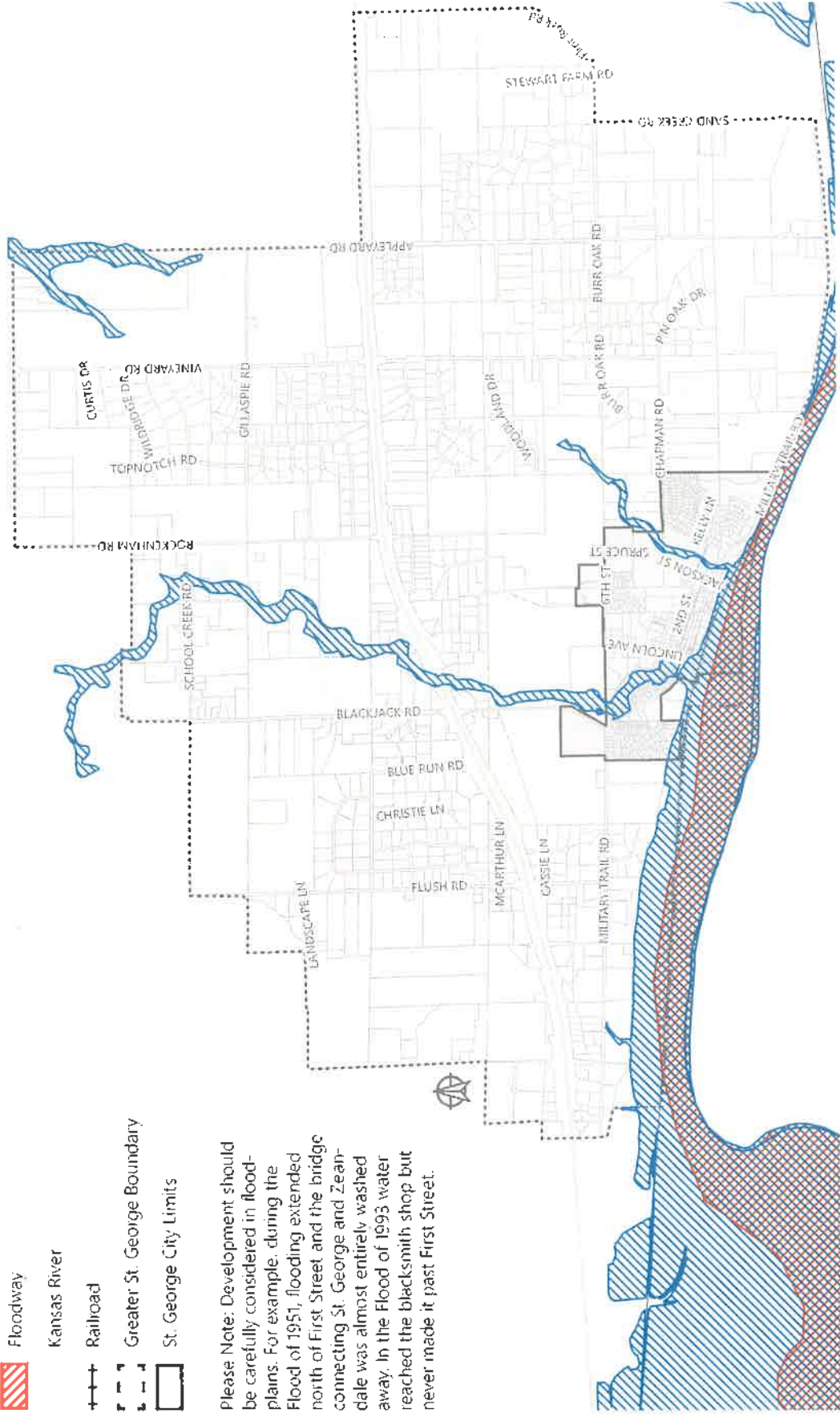
Goal 2: Remain a "freestanding" community within Pottawatomie County with distinct municipal borders and a unique identity that celebrates the historic and river-based character of St. George.

7. Coordinate with Pottawatomie County on land use decisions within the 'Greater St. George' boundary.
8. Maximize available land within the city limits for further infill development opportunities in key activity areas including downtown, near the elementary school, and adjacent to other community assets.
9. Create directional signage along US-24 to St. George.
10. Within the City Limits, add wayfinding signage and community entryway improvements at strategic locations to highlight local assets.













Flooding

-  100-year Floodplain
-  Floodway
-  Kansas River
-  Railroad
-  Greater St. George Boundary
-  St. George City Limits

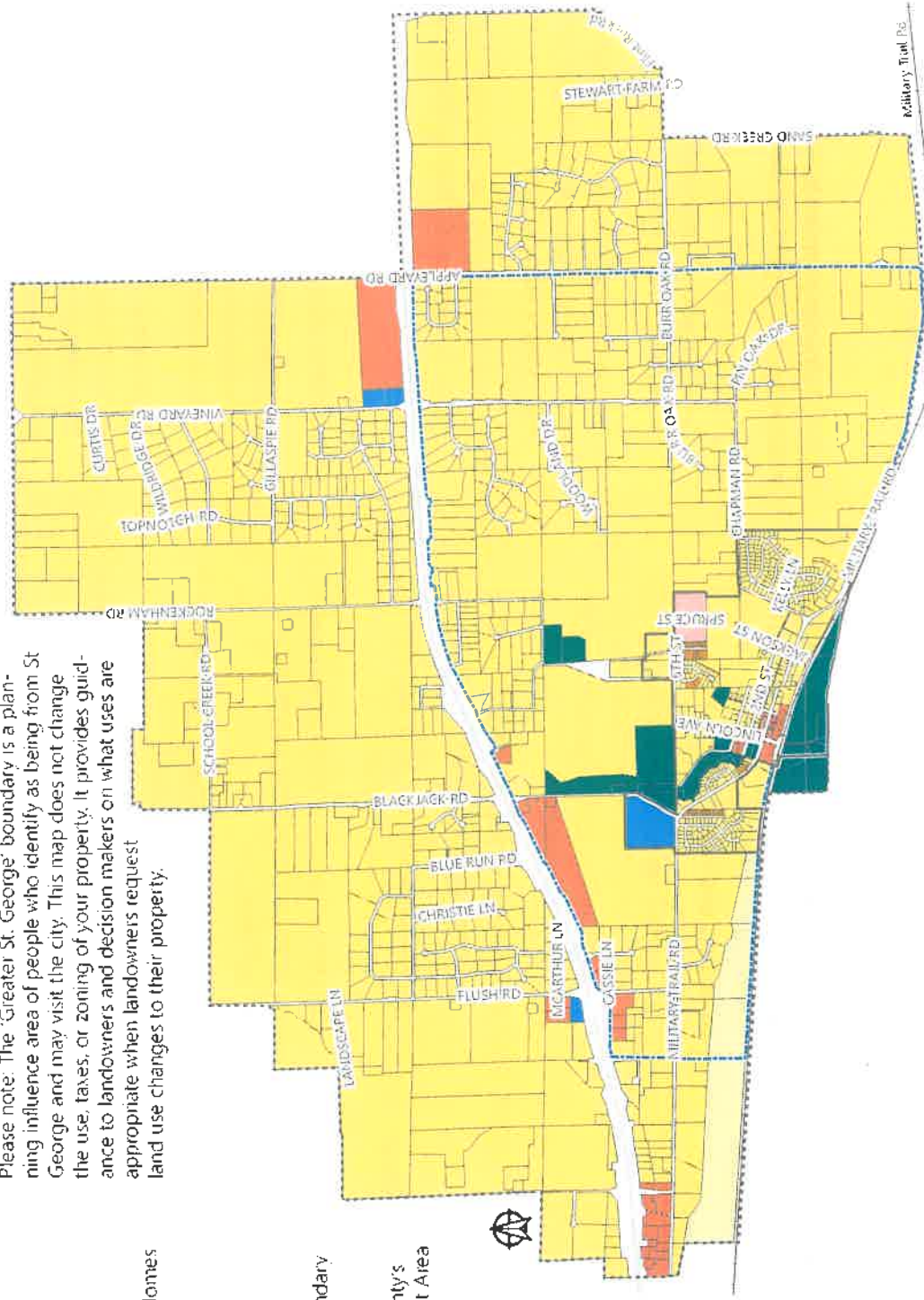
Please Note: Development should be carefully considered in floodplains. For example, during the Flood of 1951, flooding extended north of First Street and the bridge connecting St. George and Zeandale was almost entirely washed away. In the Flood of 1993 water reached the blacksmith shop but never made it past First Street.



Future Land Use: Concept Map

-  Agriculture
-  Suburban
-  Duplex
-  Manufactured/Mobile Homes
-  Commercial
-  Public/Semi-Public
-  Parks/Open Space
-  Greater St. George Boundary
-  St. George City Limits
-  Plan Pottawatomie County's
-  St. George Urban Impact Area
-  Railroad

Please note: The Greater St. George boundary is a planning influence area of people who identify as being from St. George and may visit the city. This map does not change the use, taxes, or zoning of your property. It provides guidance to landowners and decision makers on what uses are appropriate when landowners request land use changes to their property.



Please Note: In the Plan Pottawatomie County 2040 Plan, Suburban can be classified as both residential and commercial. This designation covers areas with predominantly single family residential or commercial developments at a neighborhood/community scale. These are not auto-oriented.

Economic Development: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

Strengths:

- Pottawatomie County's population is growing.

Challenges:

- St. George is a small community with a small labor force.
- To be more vibrant, the number of downtown businesses would need to be expanded.

Goal 1: Build external awareness of St. George.

1. Develop a marketing plan for St. George.
2. Continue St. George's partnership with the regions Communities to Call Home marketing tool.

Goal 2: Leverage St. George's strategic location and developable areas in the downtown and along the US-24 corridor to attract and retain businesses.

3. Conduct regular business outreach to determine if there are issues the City can assist with to help expand and retain local businesses.
4. Seek partnerships that will help St. George attract new businesses.
5. Maximize available land within the city limits for development.
6. Utilize the Kansas River as an asset to increase community and economic activities.
7. Leverage the region's Animal Health Corridor designation.
8. Explore the feasibility of establishing a benefit district.
9. Consider flexible space for a farmers market, food trucks, beer gardens, and other small vendors.

Goal 3: Advance partnerships with local businesses and organizations.

10. Foster partnerships with economic development organizations interested in promoting St. George.
11. Partner with local resources to conduct a market analysis for both downtown and the corridor along US-24.
12. Continue to support the classroom-to-career program at St. George Elementary School.
13. Participate in regional recovery and resiliency planning efforts.
14. Promote information about entrepreneurial-related events, programs and networking opportunities.
15. Participate in a regional infrastructure committee to assist in prioritizing investment in infrastructure to support economic development.

Transportation and Mobility: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

Context:

- As St. George develops, it will need to update roadways and intersections to provide access and promote a smooth flow of traffic.
- The City has a complete roadway network with primarily paved roads but has gaps in the sidewalk network.
- The City has a long list of road maintenance projects, but is not keeping pace due to the current rate of funding.

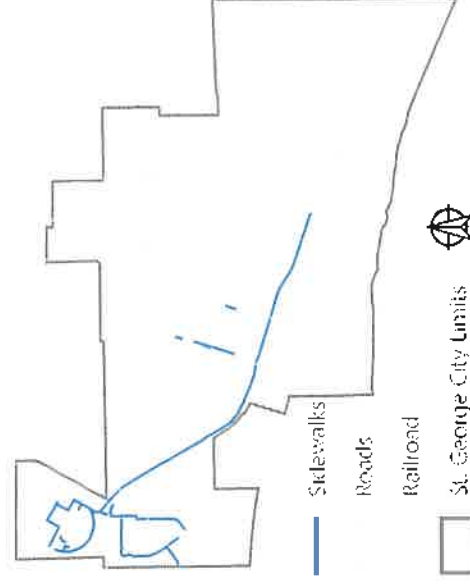
Goal 1: Provide a transportation system that prioritizes a safe and connected network for all modes of travel.

1. Work alongside the Flint Hills Metropolitan Planning Organization to adopt a Safe Routes to School Plan. This effort should identify sidewalk gaps and existing sidewalks needing maintenance.
2. Ensure sidewalks are part of all new developments and are well-connected to existing development.
3. Conduct a parking study for downtown and the surrounding neighborhoods.
4. Continue to engage with the US-24 Corridor Management Plan Steering Committee.
5. Conduct a feasibility study for a bridge connection across the Kansas River to Zeandale.

Goal 2: Invest in the preservation and maintenance of the existing transportation infrastructure.

6. Identify long-term costs associated with preserving and maintaining the existing transportation system.
7. Conduct preventative maintenance on the local road network and schedule reconstruction for locations with deteriorated conditions.

Existing Sidewalk Network



Housing: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

Context:

- The St. George housing market remains strong and new growth is occurring.
- Housing prices are on the rise and the city and surrounding areas continue to experience new construction.
- A majority of homes in St. George are located suburban-style subdivisions.
- If the City of St. George's population nears the projected 1,130 residents, there is a projected need for 75 additional housing units by the year 2040.

Goal 1: Promote a diverse housing inventory to accommodate St. George's growing population while maintaining a small-town character.

1. Promote and provide a mix of housing types to accommodate a range of incomes, ages, and families.
2. Establish a Rural Housing Incentive District to provide incentives for the creation of new housing within the City limits.
3. Work with current and future downtown building owners to find ways to develop upper story housing throughout downtown.

Goal 2: Address community cleanup and rehabilitation.

4. Host an annual neighborhood cleanup event.
5. Focus and prioritize the rehabilitation of highly visible areas.
6. Identify housing stock in need of rehabilitation or demolition as part of a Housing Needs Assessment completed every ten years.
7. Explore incentive programs to encourage property owners to make improvements to their residential properties.



Promoting a Diversity of Housing: Concepts

St. George has the potential to add a diversity of housing types. When cities only focus on one/two types of housing, usually single family homes, it creates a number of issues. Cities that limit the number of housing types are solely dependent on one type of resident for growth which may not allow for residents to “age in place” or attract populations such as young professionals, recent graduates, and young families locating to that community.



Accessory Dwelling Unit or “In-Law Unit”

ADUs are a “sensitive” way to add a unit to a lot, which often cannot be seen from the street. These are often used to house extended family, provide housing for an additional family while increasing property value, or as a way for the original owner to downsize, but remain on-site.

¹City of Oakland; ²Jessica Letaw; ³So Cal Builds; and ⁴Parr MacRae



Mixed Use Residential

These are buildings that include commercial uses on the ground floor and residential units on upper floors. Open space is generally in the form of balconies, terraces, and roof decks.

¹Wilson County, TN and ²Plains, GA



Denser, Walkable Neighborhood

Many families, young professionals, and retirees are choosing to live in denser, walkable neighborhoods. Many residents like the small yards and sense of community that these developments offer. This neighborhood style promotes quality public space.

¹Mike DeVries - The Capital Times; ²Jeremy Murdock - CollierVillage, TN; ³Jeremy Murdock - Taylor, MS

Services and Infrastructure: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

This category includes:

- City of St. George Departments
- St. George Police Department
- Pottawatomie County Fire District #10
- Pottawatomie County Emergency Management Services
- Schools in the Rock Creek School District
- Public Services and Infrastructure (water, sewer, etc.)
- Private Services and Infrastructure (electric, gas, communications)

Goal: Provide adequate, resilient services and infrastructure to meet the demand of residents and businesses.

1. Require long-term financial maintenance plans for any new infrastructure when reviewing development plans.

2. Ensure quality broadband service is provided to every residence and business as the St. George continues to grow.

3. Continue to work with the local police, fire department, and EMS to maintain quality equipment levels for the number of residents.

4. Continue to expand and upgrade the water and sanitary sewer system in a manner guiding growth and redevelopment in a systematic and responsible manner.

5. Encourage underground utilities in new developments and along prominent corridors.

6. Expand and/or relocate City Hall for additional community meeting space.
7. Improve communication between city residents and government staff and officials, both elected and appointed.
8. Issue a community satisfaction survey every five years.

Parks and Recreation: Goals and Implementation Strategies

Questions to ask yourself and provide feedback on...

1. What did you like in this section?
2. What did you disagree with?
3. What is this section missing?

Context:

- The 2003 *Small Community Park and Recreation Standards*, favors 15.5 acres of parks per 1,000 residents. St. George currently has 9-acres of parks for approximately 1,000 residents.
- Enhancing parks and recreation was the #2 priority for community survey respondents.
- Existing Park Space: City Park, St. George Rec. Commission Ball Fields, and Boggs Landing Boat Ramp

Goal 1: Support parks and recreation facilities that are well-maintained and accommodate a range of recreational activities.

1. Fund and develop a parks, recreation, and trails plan. Examine the possible opportunities, routes, and construction costs for options such as a splash pad, pool, dog park, and more.
2. Actively partner with local businesses, regional and/or state partners, and other organizations to support river-based outdoor recreation opportunities.
3. Explore opportunities for a new community event space that will enhance the appeal of St. George for events. Ensure that this space is connected to downtown and other key destinations.
4. Ensure the City has appropriate funding and staffing levels to maintain parks and recreation facilities.

Goal 2: Put on and communicate recreational programming and events to provide opportunities for the community to be physically and socially active.

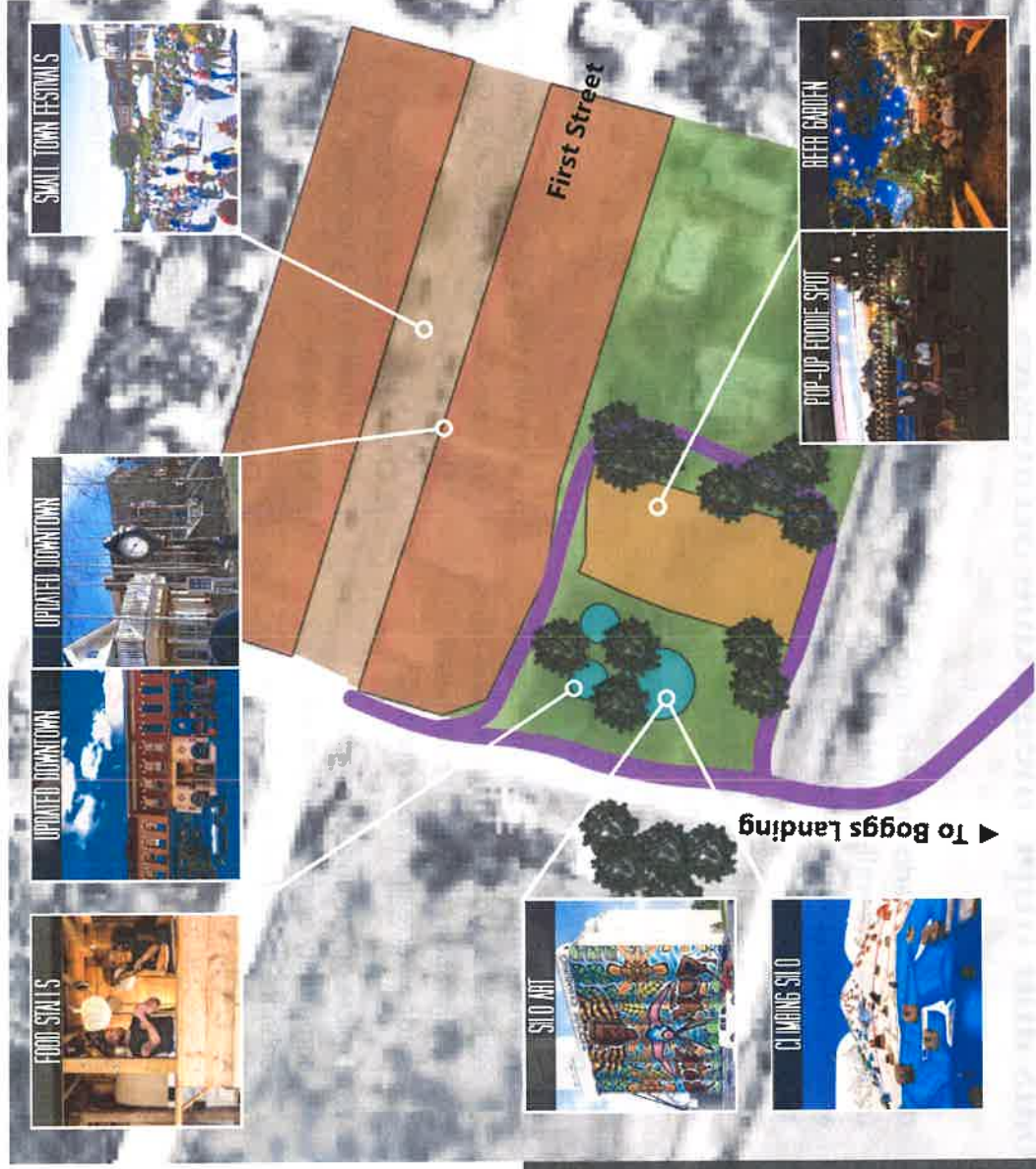
5. Maintain the Community Enrichment Committee which focuses on the planning of new and existing events and festivals to generate economic and social activity.
6. Work with USD 323 to coordinate events or the public use of space at St. George Elementary.
7. Clearly communicate recreational opportunities in St. George through the City website.
8. Develop and provide informational resources to the community on events, programs, and facilities. This includes, but is not limited to, trail maps, website notifications, social media, and interactive maps.

St. George Downtown Update: Concept Map

Questions to ask yourself and provide feedback on ...

1. What do you like in this map?
2. What concerns you about this map?

Please note: these are just ideas of what could be created in this area.

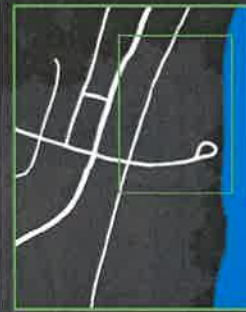


St. George Riverfront Update: Concept Map

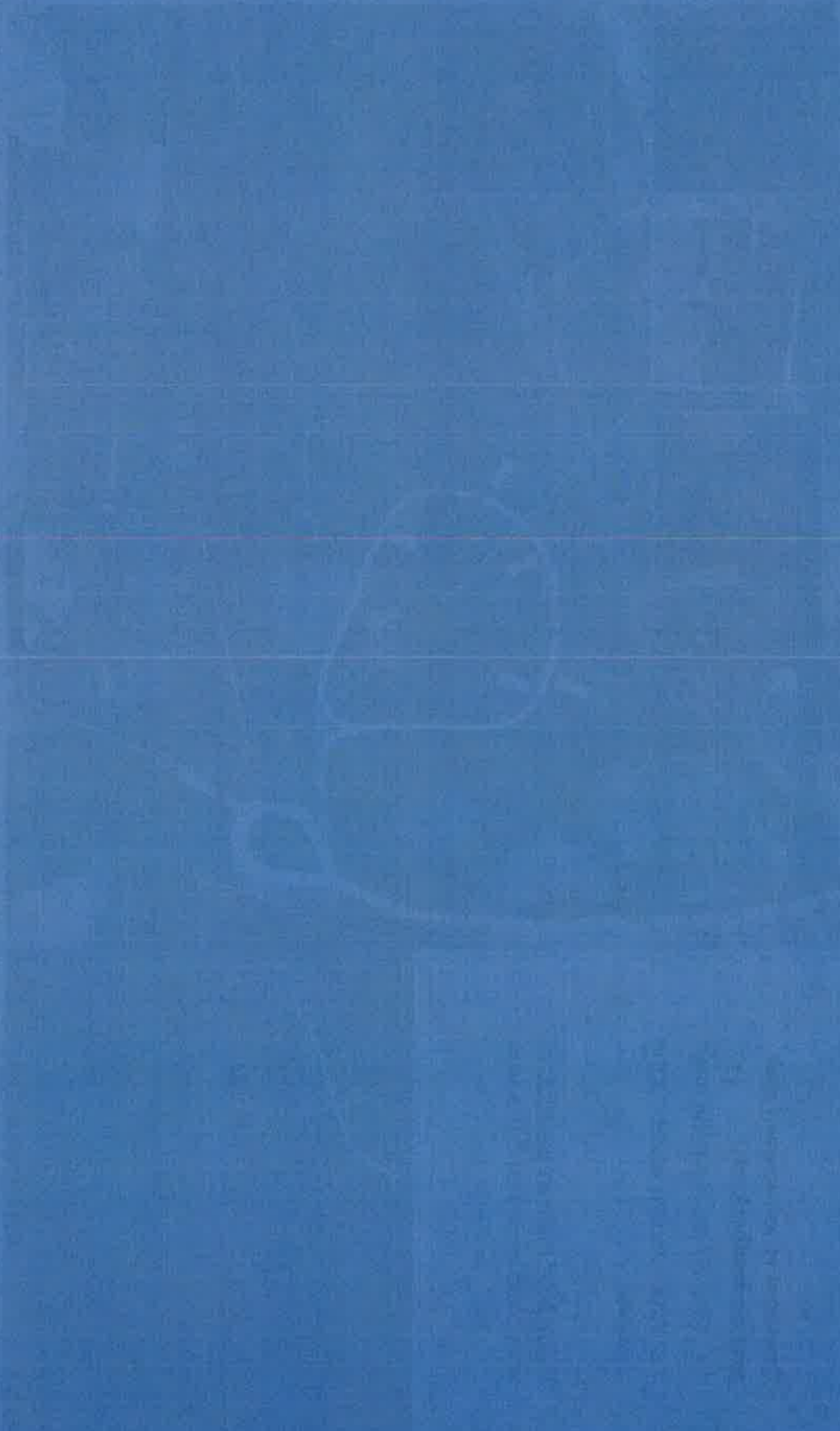
Questions to ask yourself and provide feedback on...

1. What do you like in this map?
2. What concerns you about this map?

Please note: these are just ideas of what could be created in this area.



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Appendix B: Housing Needs Assessment

About the Housing Conditions Assessment.....	B-03
Condition of the Existing Housing Stock.....	B-05

About the Housing Conditions Assessment

The Flint Hills Regional Council (FHRC), guided by Professor Susmita Rishi of Kansas State University, completed this Housing Conditions Assessment for St. George. The conditions of current housing stock was document through a windshield survey in January 2021. Data was collected using Survey 123. This data was then analyzed to understand the condition of the housing stock.

Housing Conditions Assessments

A Housing Conditions Assessment is an analysis that focuses on the structural characteristics and conditions of dwellings and other issues pertaining to housing in the area. The purpose of a Housing Conditions Assessment (HCA) is to provide the empirical basis on which the city, county, community groups, organizations and residents can develop a comprehensive understanding of the current condition of the housing stock in the city and county.

A HCA can be used to make decisions on investments such as infrastructure upgrades, homeowner programs, and neighborhood revitalization. This type of study can also help the city and county assess the success of earlier and ongoing community development efforts. The HCA is therefore a starting point towards an overall plan for city and county-wide development.

In this HCA study, there was a focus on the adequacy and amenities of the housing stock by completing a survey for each residential structure within city limits. The survey involved the selection of structure type, number of floors, approximate age of the structure, condition of the foundation (if visible), as well as the condition of roofing, siding (including fascia boards and gables), windows and doors (including jambs and frames), yard, and

driveway (if applicable). After each of these individual components were assessed, the structure was given an overall assessment ranging from "Excellent" to "Dilapidated".

The description of each structural quality category are as follows:

- » **Excellent:** describes a dwelling unit that is new or well maintained and structurally intact with no visible deficiencies. The foundation appears structurally undamaged and its rooflines are straight. Windows, doors, siding, and exterior paint are in good condition.
- » **Sound:** describes a dwelling unit that shows signs of minor deferred maintenance and requires tasks such as repainting, window repairs, the replacement of a few shingles on the roof, or the repair of cracks in the foundation.
- » **Minor Rehabilitation:** describes a dwelling unit that shows signs of multiple areas of deferred maintenance or a dwelling unit that requires the repair of one major component.
- » **Moderate Rehabilitation:** describes a dwelling unit that requires multiple repairs and the replacement of a major component.
- » **Substantial Rehabilitation:** describes a dwelling unit that requires the repair or replacement of all exterior components.
- » **Dilapidated:** describes a dwelling unit that suffers from excessive neglect, appears structurally unsound and unsafe for human habitation, and may not be feasible to rehabilitate.



▲ *Figure B.1.*
Single-Family Home in Excellent
Condition



▲ *Figure B.4.*
Single-Family Home Needing Moderate
Rehabilitation



▲ *Figure B.2.*
Mobile Home in Sound Condition



▲ *Figure B.5.*
Single-Family Home Needing Substantial
Rehabilitation



▲ *Figure B.3.*
Single-Family Home Needing Minor
Rehabilitation

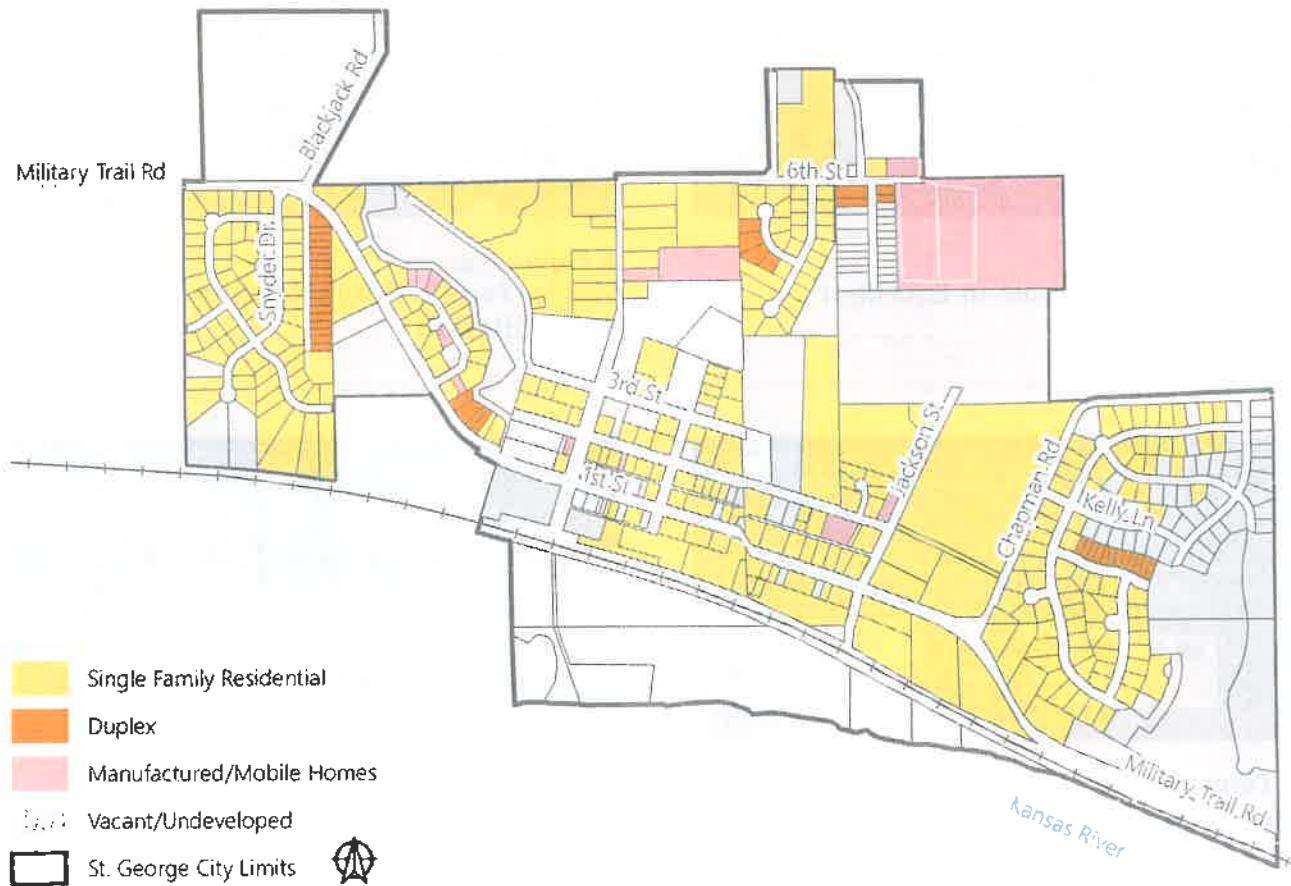


▲ *Figure B.6.*
Single-Family Home in Dilapidated
Condition

Condition of the Existing Housing Stock

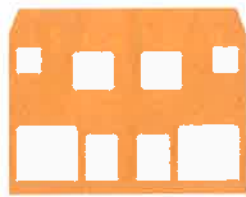
▼ **Figure B.7. Existing Housing Stock in St. George**

This map provides data on the existing housing stock when the Housing Needs Assessment was conducted in January 2021.



309

Single Family Homes



42

Duplexes



60

Manufactured/Mobile Homes

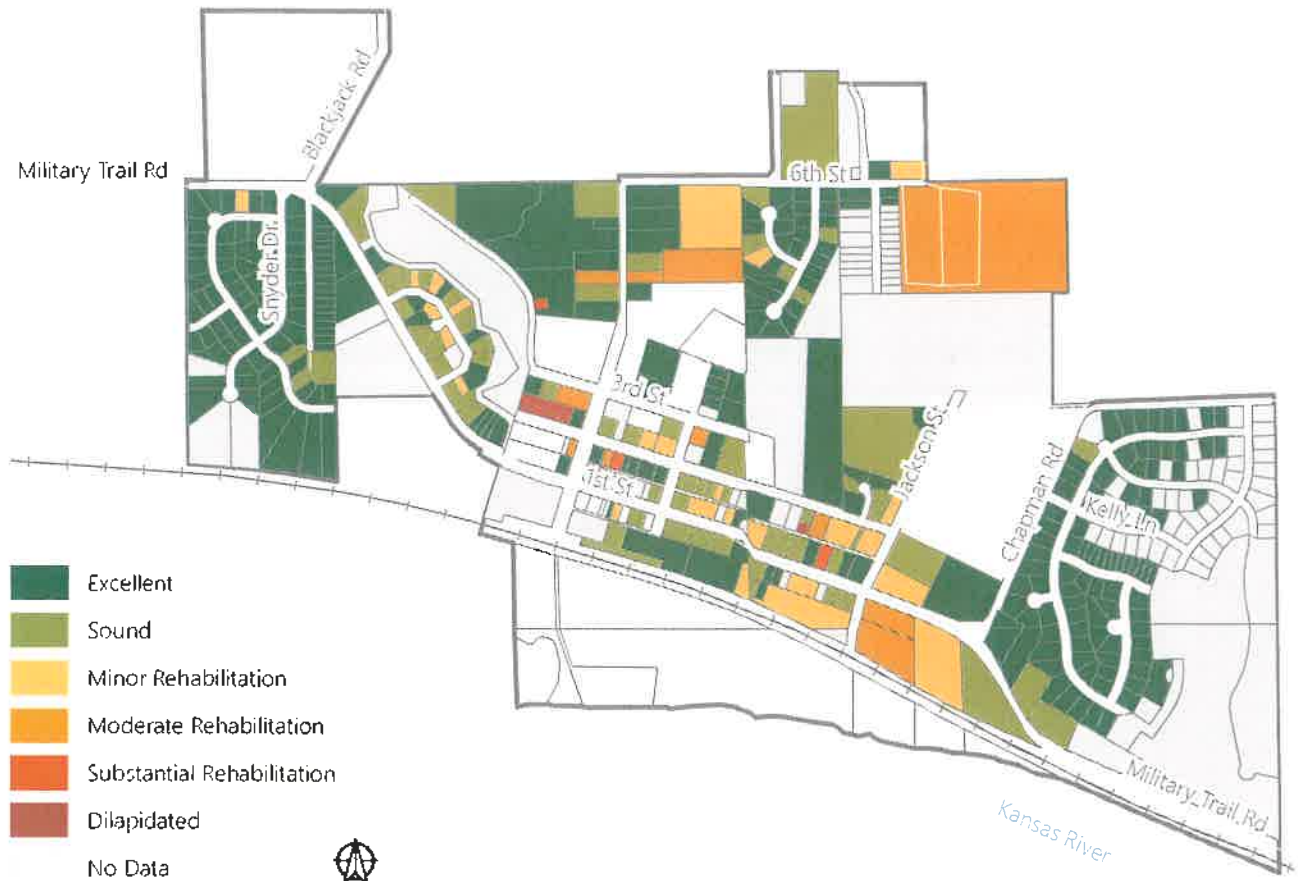


100

Vacant Lots

▼ **Figure B.8. Structural Quality of Housing Stock in St. George**

This map provides data on the existing housing stock when the Housing Needs Assessment was conducted in January 2021.



In comparison to many other communities in the Flint Hills region, the housing stock in St. George is primarily in good condition. The properties listed as needing “substantial rehabilitation” and those that are “dilapidated” may require municipal action and/or assistance.

